



Newmarket

# Planning Process for Official Plan and Zoning Amendments

June 19, 2019

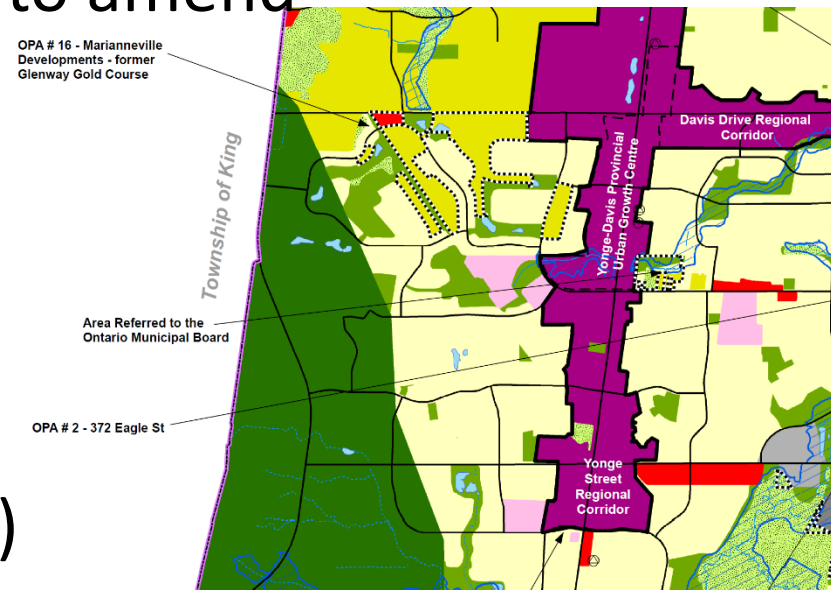


# Official Plan

- Council approved document
- Requires Council approval to amend
- Land use planning policies
- Provides guidance

## Glenway

- Parks and Open Space
- Natural Heritage (woodlot)
- Oak Ridges Moraine (open space)



# Zoning By-laws



## 6.2.2 Zone Standards

The following table and notations provided in Section 6.2.3 establish the zone standards Zones:

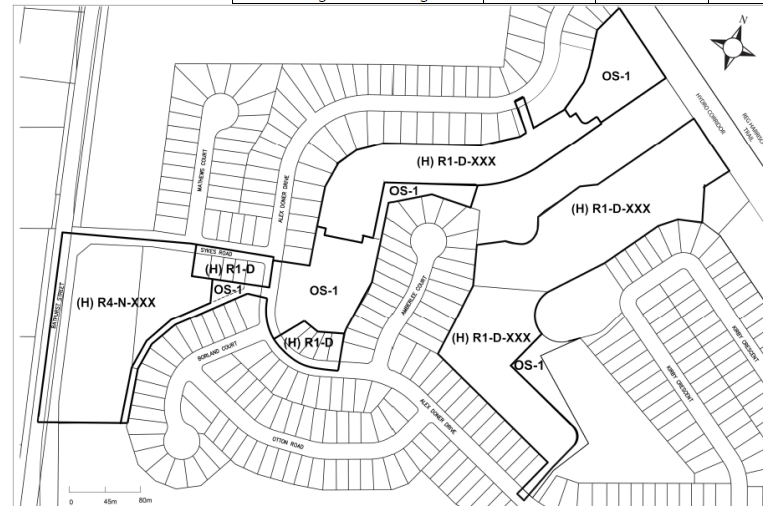
Typical Built Form	Detached dwelling			
Regulatory Set:	A	B	C	D
Min. Lot area	0.8 ha	1860 m <sup>2</sup>	743 m <sup>2</sup>	511 m <sup>2</sup>
Min. Lot Frontage	60.0 m	30.0 m	18.0 m	15.0 m
Min. Yard Setbacks				
From Front Lot Line	30.0 m	9.0 m	7.5 m	7.5 m
From Rear Lot Line	15.0 m	9.0 m	7.5 m	7.5 m
From Exterior Side Lot Line	-	6.0 m	6.0 m	6.0 m
From Interior Side Lot Line				
One Side	7.5 m	1.8 m	-	-
Other Side	7.5 m	4.2 m	-	-
Each Side 1 Storey	-	-	1.2 m	1.2 m
Each Side 1.5 Storeys	-	-	1.5 m	1.5 m
Each Side 2 Storeys	-	-	1.8 m	1.8 m
Min. Building Separation	-	-	-	-
Max. Lot Coverage	15%	20%	35%	35%
Max. Height	10.7 m (2 storeys)	10.7 m (2 storeys)	10.7 m (2 storeys)	10.7 m (2 storeys)
Min. Driveway Width (*7)	-	-	-	-
Max. Driveway Width (*7)	-	-	6m	6m
By-law 2011-25	9m	9m	-	-
Min. Driveway Length (*11)	-	-	-	-
Garage Door Segmented	-	-	-	-
Non-Segmented Garage Door	-	-	-	-

- Permitted uses
- Built form requirements
- Setbacks and buffering

## Glenway

- Private Open Space
- ORM (OS)

Key for compatibility  
Lot size/ building  
heights/setbacks/buffers



# Planning Process



## Pre consultation

- Departments/Agencies
- General overview
- Comments from staff
- Confirmation letter for Complete Application

Application Requirements	Required	Number of Copies
Completed Application Form with original signatures	*	1
Up-to-date parcel abstract of title indicating current owner, legal description, and PIN number	*	1
Application fee	*	1
Submission Letter setting out all submitted documents and number of copies	*	1
CD or USB key containing all plans and reports	*	5
<b>Elevation Plans</b>		
Full size copies	*	20
Reductions at 8.5" x 11"	*	20
<b>Environmental Reports</b>		
Environmental Impact Study	*	6
Geotechnical Investigation Report	*	6
Phase One Environmental Site Assessment to O. Reg 153/04	*	6
Phase Two Environmental Site Assessment	*	6
Section 59 (Sourcewater protection) Notice	*	6
Stormwater Management Report including Low Impact Development features	*	6
<b>Grading</b>		
Full Size Grading Plan	*	20
<b>Landscape Plans</b>		
Full size copies	*	20
Reductions at 8.5" x 11"	*	20
Colored rendering	*	1
<b>Planning</b>		
Communication Implementation Plan (can be included in PJR)	*	6
Planning Justification Report (PJR)	*	6
<b>Servicing</b>		
Full Size Servicing Plan	*	6
FSR - Functional Servicing Report w/ SWMR and LID	*	6
<b>Site Plans/draft plans</b>		
Full size copies	*	20
Reductions at 8.5" x 11"	*	20
<b>Survey, up-to-date</b>		
Full size copies	*	30
Reduction of survey, 8.5" x 11"	*	1
<b>Transportation Reports</b>		
Parking Report and/or Justification Study as applicable	*	6
Transportation Demand Management Strategy	*	6
<b>Tree Inventory Plan</b>		
Full size copies of Tree Inventory Map/Plan	*	6
Tree Report Form	*	6
<b>Tree Preservation, Protection &amp; Replacement Plan</b>		
Full size copies	*	6
Arborist Report	*	6

# Planning Process



## Application Submission

- Review for completeness
- Signs on property
- Notice to surrounding property owners
- Reports publically available

**PUBLIC NOTICE**  
West portion of former Glenway golf course

**APPLICANT'S PROPOSAL**

**Official Plan and Zoning Amendments  
Draft Plan of Subdivision**

- 10 Single detached lots on a Public Road (lots 1-10)
- 87 Single detached lots on Private Roads (Blocks 11 and 12)
- 96 Townhouse lots on Private Roads (Block 13)
- Park Land (Blocks 14, 15 and 16)
- Storm Water Management (Blocks 17 and 18)

**LET US KNOW WHAT YOU THINK**

**PLANNING DIVISION**

- 905-953-5321
- planning@newmarket.ca
- Visit [newmarket.ca](http://newmarket.ca) and search "Current Applications" for more information
- Visit 395 Mulock Drive to consult a copy of the proposed amendment or obtain a copy of the public notice

**STATUTORY PUBLIC INFORMATION**

A meeting has not yet been scheduled. Details will be posted here as they become available.

# Planning Process

## Application Review

Circulation for review and comment to:

- Engineering Services review the servicing/grading/Environmental Site Assessments/traffic/noise study
- LSRCA review the Environmental reports on behalf of the Town and Region
- Region review for Regional issues and traffic on Regional Roads (Bathurst), source water protection
- Planning review land uses, compatibility, parkland dedication, overall design/consistency with planning documents
- Tree work is peer reviewed by Urban Forests Innovation Inc.
- Utilities review to ensure the infrastructure can be accommodated

# Planning Process



## **Preliminary report to Committee of the Whole**

- Overview of application
- Summary of comments to date
- Identify issues
- Referral to Public Meeting

Decision of Committee of the Whole ratified at following Council

Deputation opportunities for residents at both Committee and Council

# Planning Process



## Statutory Public Meeting

- 20 Day Notice
- Presentation by applicant
- Comments of clarification by Council
- Open to residents to provide comment (oral/written)
- No Decisions



# Planning Process



## **Recommendation report to Committee of the Whole**

- Adoption or refusal
- Regional Approval for Official Plan
- Decision of Committee of the Whole ratified at following Council
- Deputation Opportunities for residents at both Committee and Council
- Appeal opportunities

# Opportunities to Provide Comments/input



Written comments any time

Committee of the Whole (preliminary report)  
Council (preliminary report)

Statutory Public Meeting

Committee of the Whole (final report)  
Council (final report)