

Welcome & Introduction

Welcome

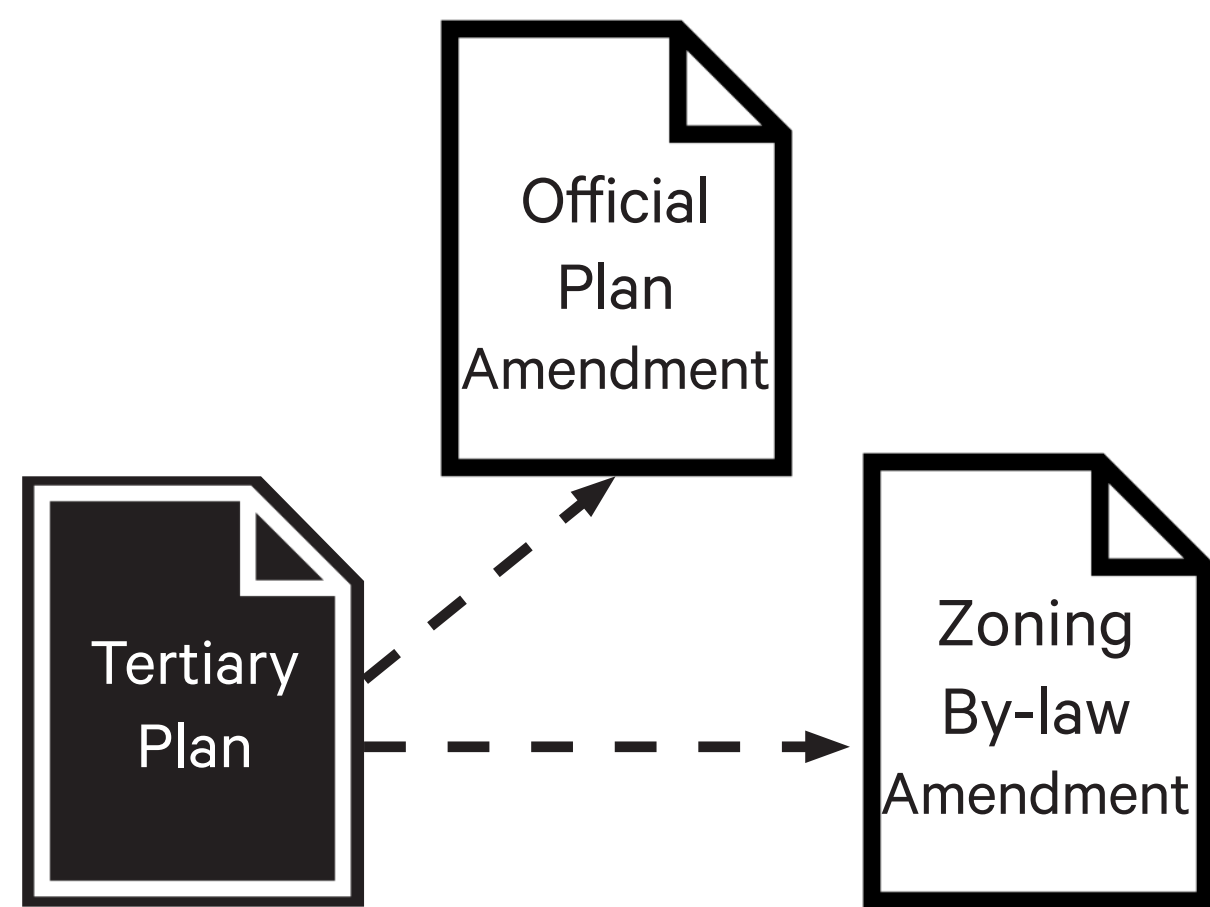
Thank you for joining us, and welcome to the second public meeting for the Old Main Street Tertiary Plan Study! The purpose of tonight's meeting is to report back the key findings of the Background Study, and present and obtain your feedback on the draft Vision Statement, Guiding Principles and Concept Plan Options. Your feedback is important. The findings from tonight's meeting will inform revisions to the Vision Statement and Guiding Principles, and the preparation of the Preferred Concept Plan.

Meeting Agenda

7:00pm	Doors Open and Sign-In
7:00pm – 7:30pm	Display Board Viewing
7:30pm – 7:45pm	Presentation
7:45pm – 8:45pm	Workshop Exercises
8:45pm – 9:00pm	Reporting Back and Closing Remarks

Study Overview

The Old Main Street Tertiary Plan Study will direct future development throughout the Old Main Street Neighbourhood, while maintaining its unique character. Policies will be prepared to address land use, density, urban design, stormwater management, low impact development, transportation and servicing infrastructure, open space and natural heritage. The Plan will form part of an amendment to the Town of Newmarket Official Plan, and will inform an implementing amendment to the Town of Newmarket Zoning By-law.



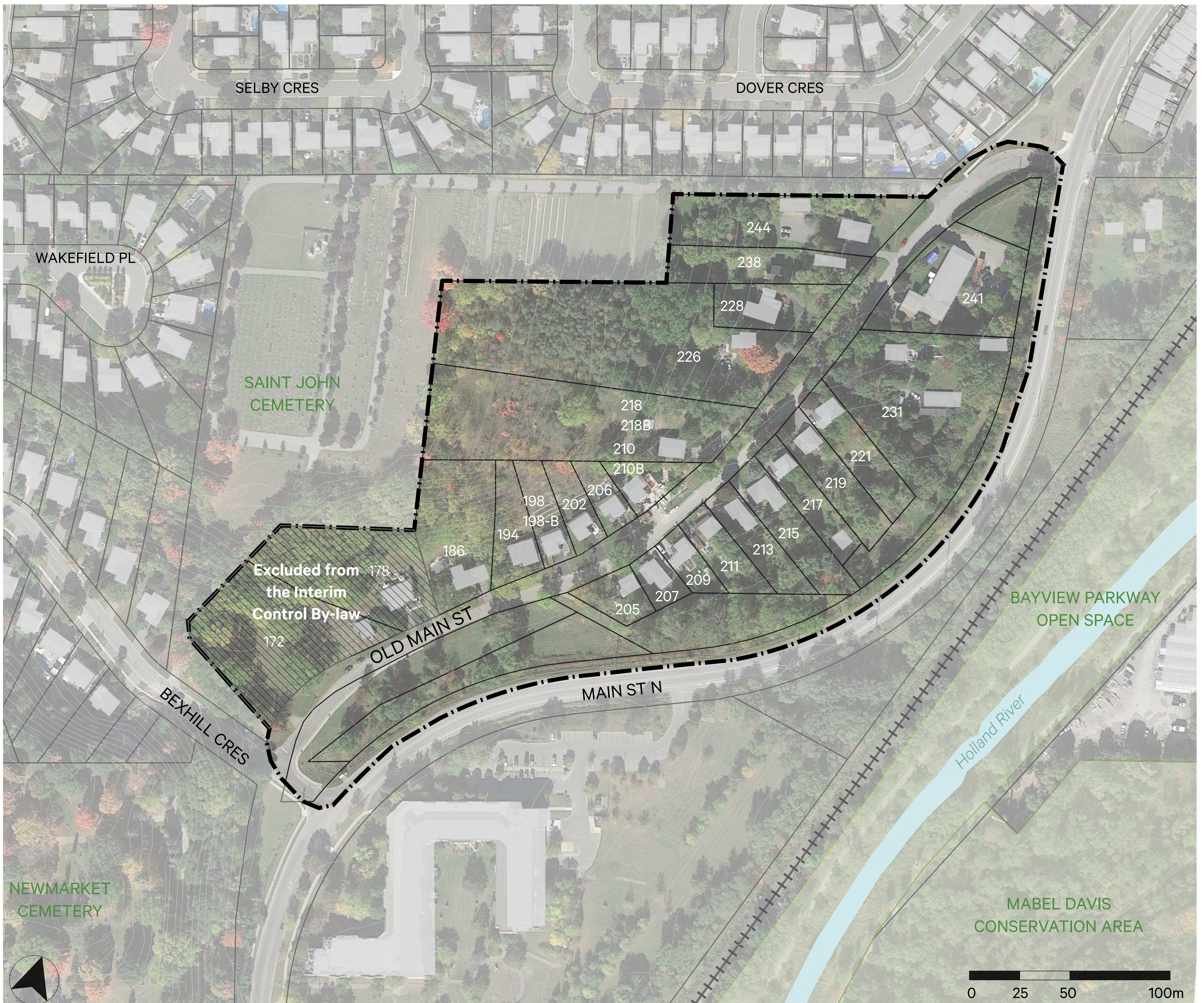
Study Process

The Old Main Street Tertiary Plan Study will be undertaken in the following three phases:



Study Area

The Old Main Street Tertiary Plan will address properties which front onto either side of Old Main Street, between Bexhill Road and Main Street North. The properties at 172 to 178 Old Main Street are not subject to the Interim Control By-law. While these lands have been included within the study area boundary, they are not subject to the recommendations of the Old Main Street Tertiary Plan.



Aerial Map - Old Main Street Study Area

Walking Tour

Overview

In order to initiate the public consultation process, the Town of Newmarket invited local residents to participate in a guided walking tour of the Old Main Street neighbourhood. The tour was held on Thursday, October 19, 2017, and was attended by approximately 35 participants. Throughout the tour, participants were given opportunities to discuss key issues, and to provide preliminary verbal and written feedback to the Project Team. The following points summarize key findings which were obtained during the walking tour.

What are the key defining characteristics of the Old Main Street Neighbourhood?



History and cultural significance of the neighbourhood



Rural and village-like neighbourhood character



Peaceful, quiet, family-friendly environment



Meandering nature of Old Main Street



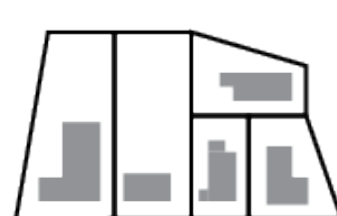
Eclectic variety of dwellings



Cottage-like character of some existing dwellings



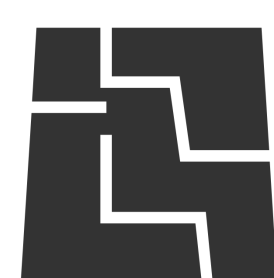
Prevalence of detached single family dwellings



Variety of property sizes and shapes



Variety of front, side, and rear yard setback conditions



Variety of property sizes and shapes



Variety of on-site parking conditions



Central gathering/open space



What are the key issues facing the Old Main Street Neighbourhood?

- Future development may alter the character of the neighbourhood;
- Existing transportation and servicing infrastructure is nearing the end of its functional life, and requires upgrades in order to facilitate additional development;
- Existing swale system is in a poor state of repair, with limited conveyance capacity;
- Portions of the neighbourhood are situated within a floodplain, and are subject to seasonal stormwater issues;
- Portions of the neighbourhood are situated at the base of a significant slope, and are subject to ongoing ground water issues;
- Portions of the neighbourhood contain clay-based soil mixtures, which promote stormwater runoff;
- Surface flooding along Old Main Street is causing the road asphalt to heave;
- Old Main Street is being used as a cut-through between Bexhill Road and Main Street North, causing increased vehicle traffic;
- Portions of the neighbourhood remain on private septic systems, which produce strong odors during heavy rains; and
- New development could result in increased vehicle traffic.

What are the key opportunities to improve the Old Main Street Neighbourhood?

- Prohibiting vs. permitting lot severances (differences of opinion);
- Restricting development to detached single family dwellings vs. allowing for semi-detached and townhouse dwellings (differences of opinion);
- Leveraging future development to improve existing transportation and servicing infrastructure;
- Renewing the neighbourhood, and expanding upon the existing sense of community, through the introduction of new residents and families;
- Retain, expand and improve the existing community / recreation space; and
- Retain and expand the existing tree canopy.

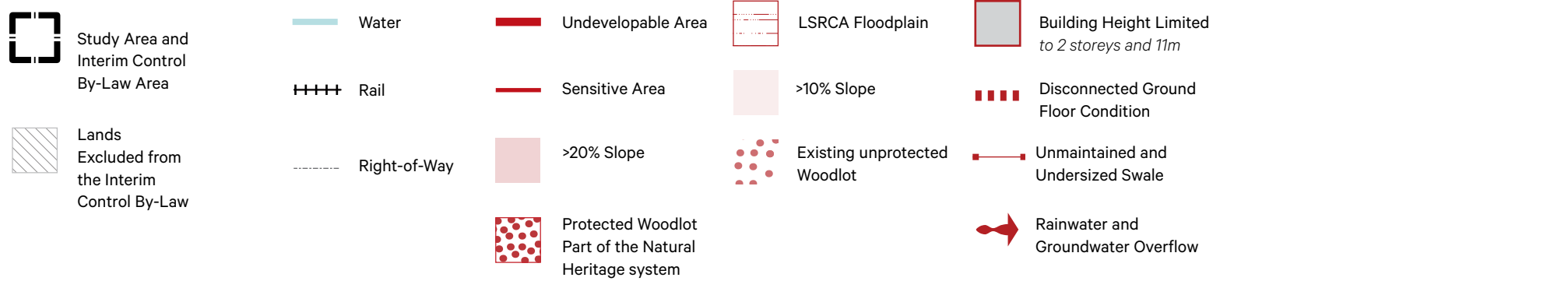
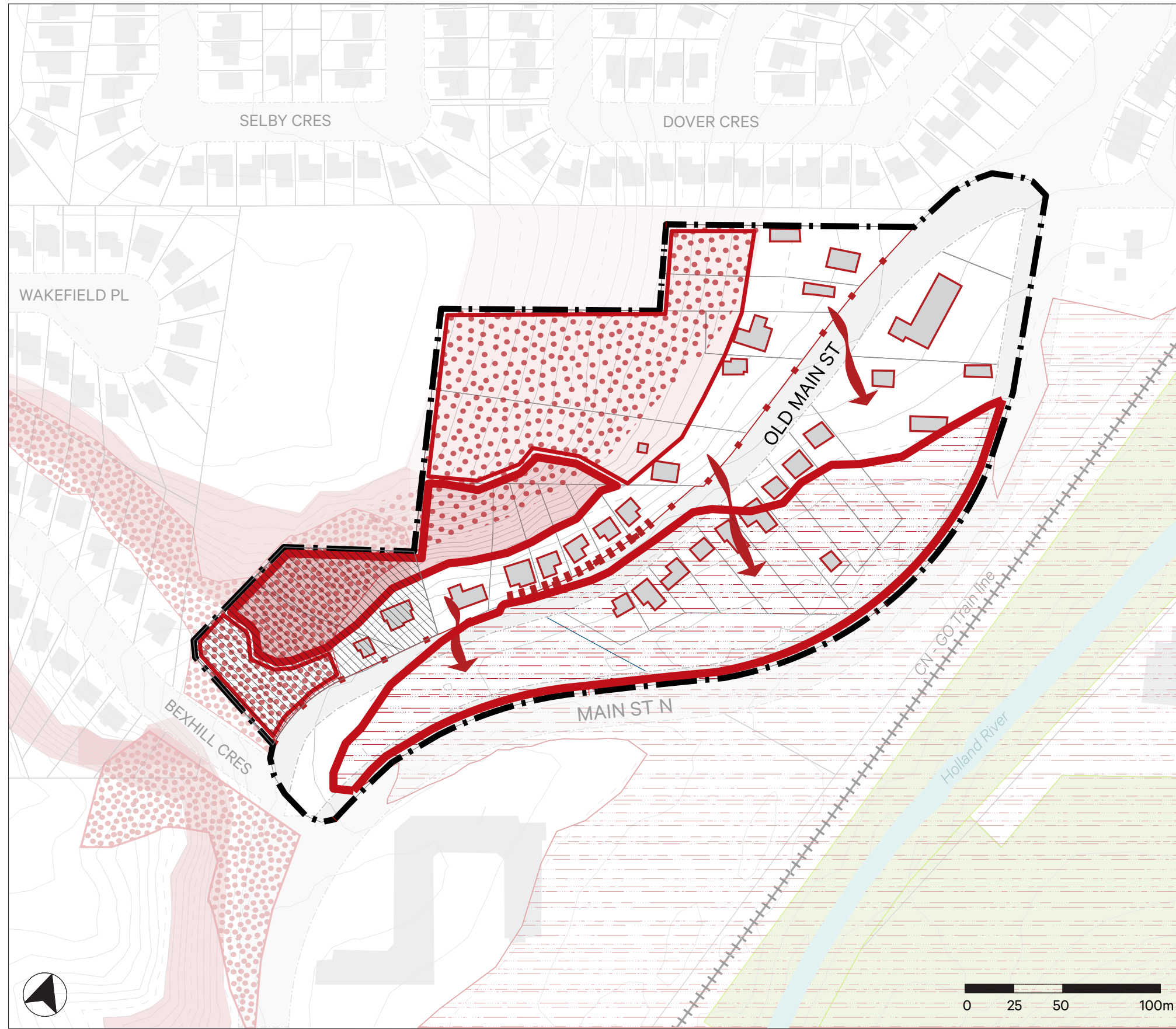
Background Study

Overview

The first phase of the Study included an analysis of existing spatial and contextual conditions; relevant policies and regulations at the provincial, regional and municipal level; transportation infrastructure; servicing infrastructure; preliminary public and stakeholder consultation findings; and key opportunities and constraints. The following points summarize the key findings and directions which have emerged out of this research.

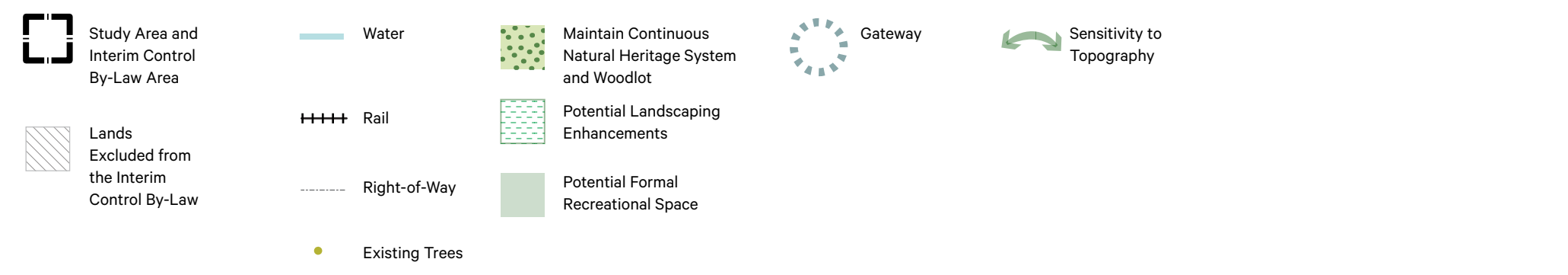
Key Constraints

The following map provides an illustrative summary of key constraints as they pertain to natural heritage features, streetscape design, and transportation and servicing infrastructure.



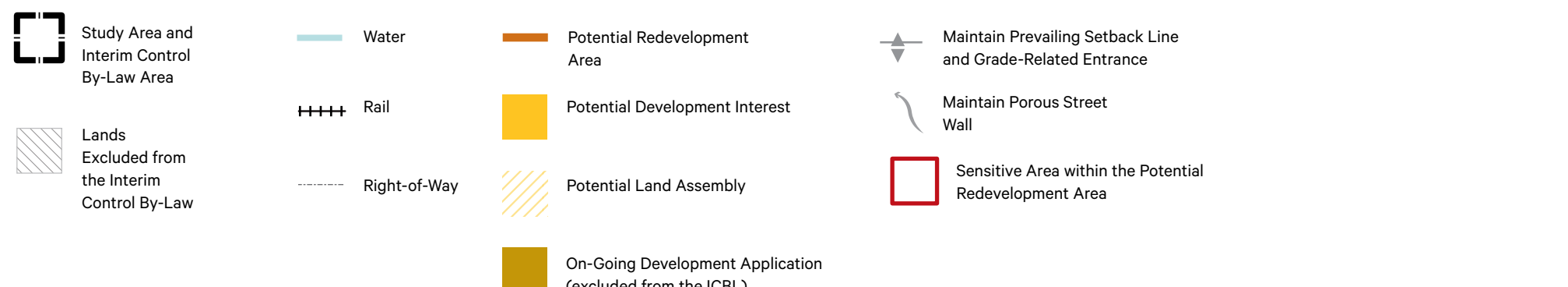
Key Opportunities: Parks, Open Space and Natural Heritage System

Opportunities exist to protect significant natural features and local wildlife habitat; establish appropriate buffers to these features while integrating elements of the natural environment into new development; respect existing topographical conditions; enhance the existing open space network; and establish prominent gateway features and connections to the broader open space network.



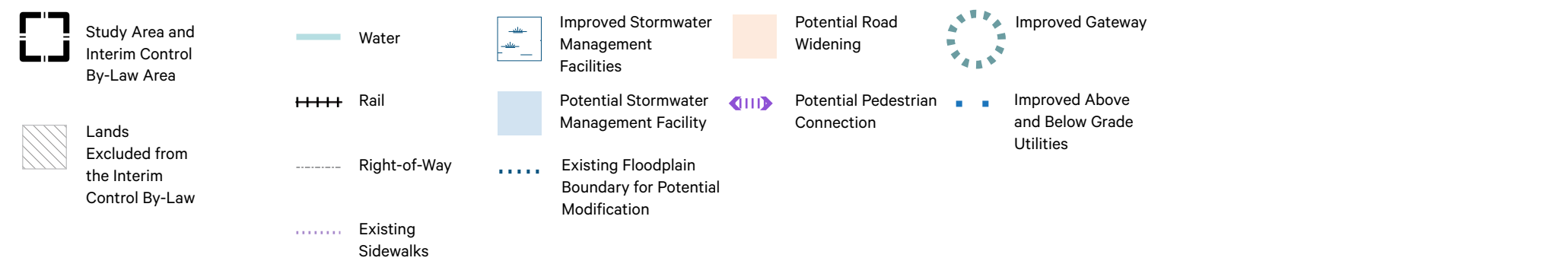
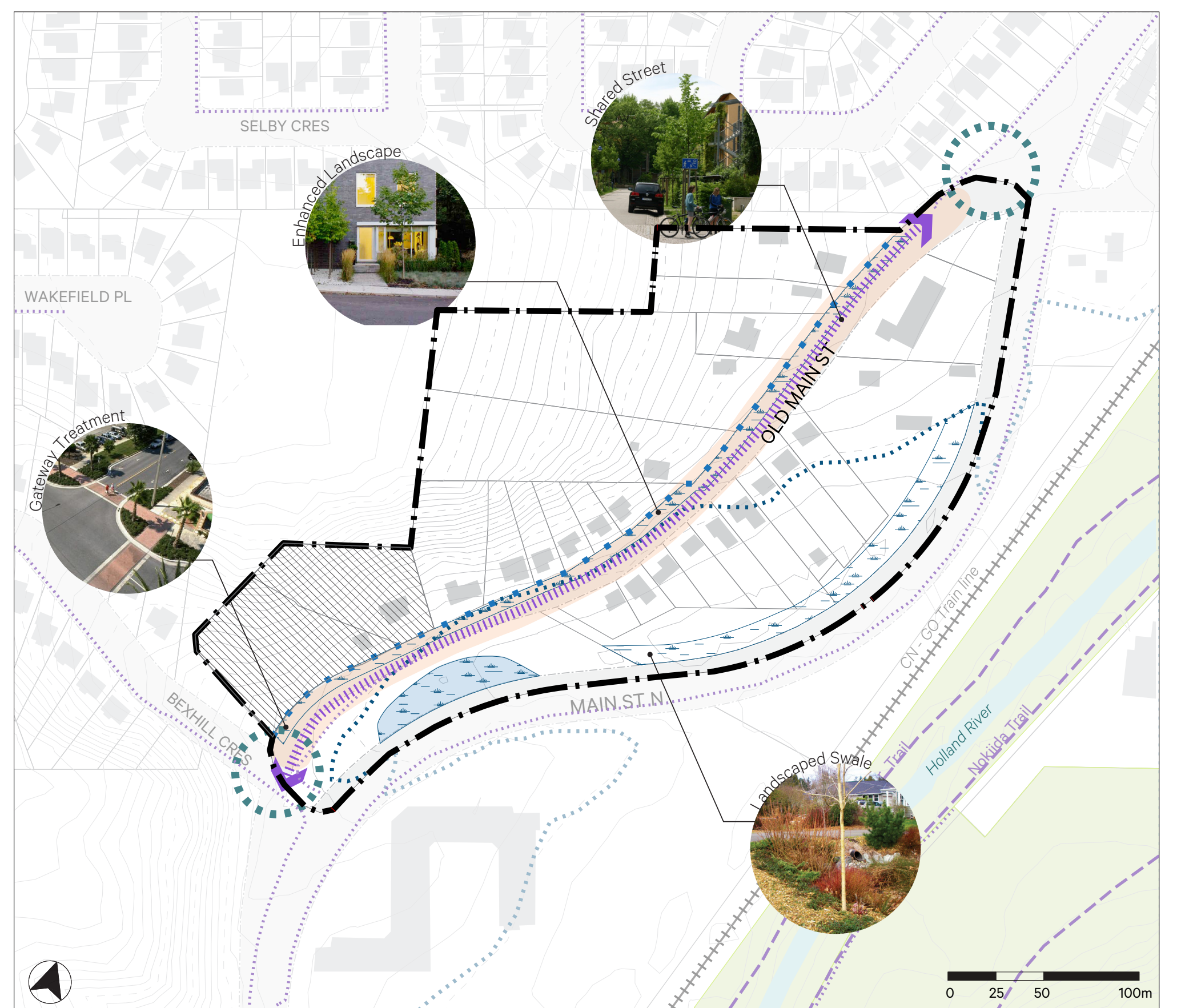
Key Opportunities: Site and Building Design, and Architectural Character

Opportunities exist to respect the distinct character of the existing community through the dimensioning and orientation of new development parcels; the organization of private landscaping and amenity space; the layout and design of driveways and parking facilities; the siting, orientation and massing of new buildings; the organization of building entrances and habitable spaces; and the articulation and detailing of new buildings.



Key Opportunities: Streetscape Design, Transportation and Servicing

Opportunities exist to enhance Old Main Street, while respecting its distinct character; upgrading existing servicing infrastructure; improving stormwater management capabilities and mitigate impacts on existing and future residents; and establish prominent gateway features and connections to the broader transportation network.



Draft Vision Statement and Guiding Principles

Overview

The draft Vision Statement and Guiding Principles have been prepared based on the findings of the Tertiary Plan Background Study, including the Old Main Street Walking Tour. The draft Vision Statement is intended to establish a broad framework to inform future public realm improvements and private developments throughout the Old Main Street Neighbourhood.

The draft Guiding Principles are intended to build-upon the draft Vision Statement by establishing a set of themes to direct future public realm improvements and private developments throughout the Old Main Street neighbourhood.

Draft Vision Statement

The Old Main Street Neighbourhood will retain its rural, cottage-like and scenic natural character, while accommodating contextually-sensitive development. Future development will be planned and designed in a manner which respects the existing natural heritage system and topographical conditions; enhances existing landscaping and open space features, while introducing new and improved stormwater management facilities; facilitates the establishment of new pedestrian connections, gateway features, and the enhancement of Old Main Street; and respects prevailing site, building and architectural characteristics.



Bio-Swale



Townhouses



Porous Pavement



Landscape Buffer

Draft Guiding Principles



Integrate Slope

Respect the Natural Heritage System and Existing Topography

- Protect existing woodlots and significant natural heritage features, and maintain a continuous natural heritage system;
- Provide adequate buffers and open space linkages, in order to protect wildlife;
- Incorporate elements of the natural environment into future development; and
- Respect existing topographical conditions.



Landscape Swale

Enhance Landscaping and Open Space Features

- Enhance the existing informal open space and recreational area;
- Improve existing landscape buffers to mitigate acoustic and visual impacts;
- Introduce new stormwater management systems, in order to increase flood storage capacity and mitigate stormwater runoff; and
- Encourage the use of permeable and soft landscaping.



Gateway Treatment

Establish Pedestrian Connections and Gateway Features

- Provide pedestrian connections to surrounding parks, open spaces, trails and public transit stops; and
- Establish gateway treatments at either end of Old Main Street, through accent planting, landscaping, traffic calming measures, special paving treatments, and signage.



Meandering Character

Enhance the Design of Old Main Street

- Enhance the design of Old Main Street, while acknowledging its quiet, meandering and rural character;
- Re-pave and re-grade the street, and formalize shoulder areas;
- Enhance and beautify the existing swale system;
- Incorporate new street trees, where possible; and
- Introduce sidewalks and landscape buffers.



Integrate Nature

Respect Prevailing Site Design Characteristics

- Maintain the east-west alignment of existing lots;
- Orient primary building facades and entrances towards Old Main Street;
- Acknowledge the porous character of Old Main Street, as well as prevailing front and side yard setbacks;
- Promote unobstructed views between dwellings and adjacent streets and open spaces;
- Maintain sky views, sunlight penetration, and privacy; and
- Minimize driveway and curb-cut widths.



Cottage-like Character

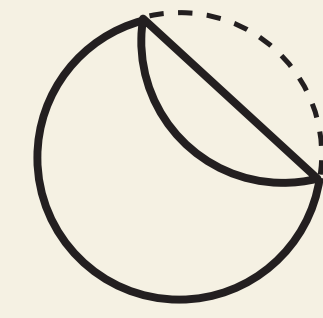
Respect Prevailing Building Design and Architectural Characteristics

- Encourage an eclectic mix of traditional and contemporary architectural styles;
- Acknowledge the “cottage-like” character of many existing dwellings;
- Minimize finished ground floor heights relative to established grade, in order to establish positive street interfaces;
- Acknowledge the prevailing rhythm of entrances, windows, and other building elements; and
- Reflect the prevailing character of 1 to 2 storey dwellings.

Draft Land Use Concepts

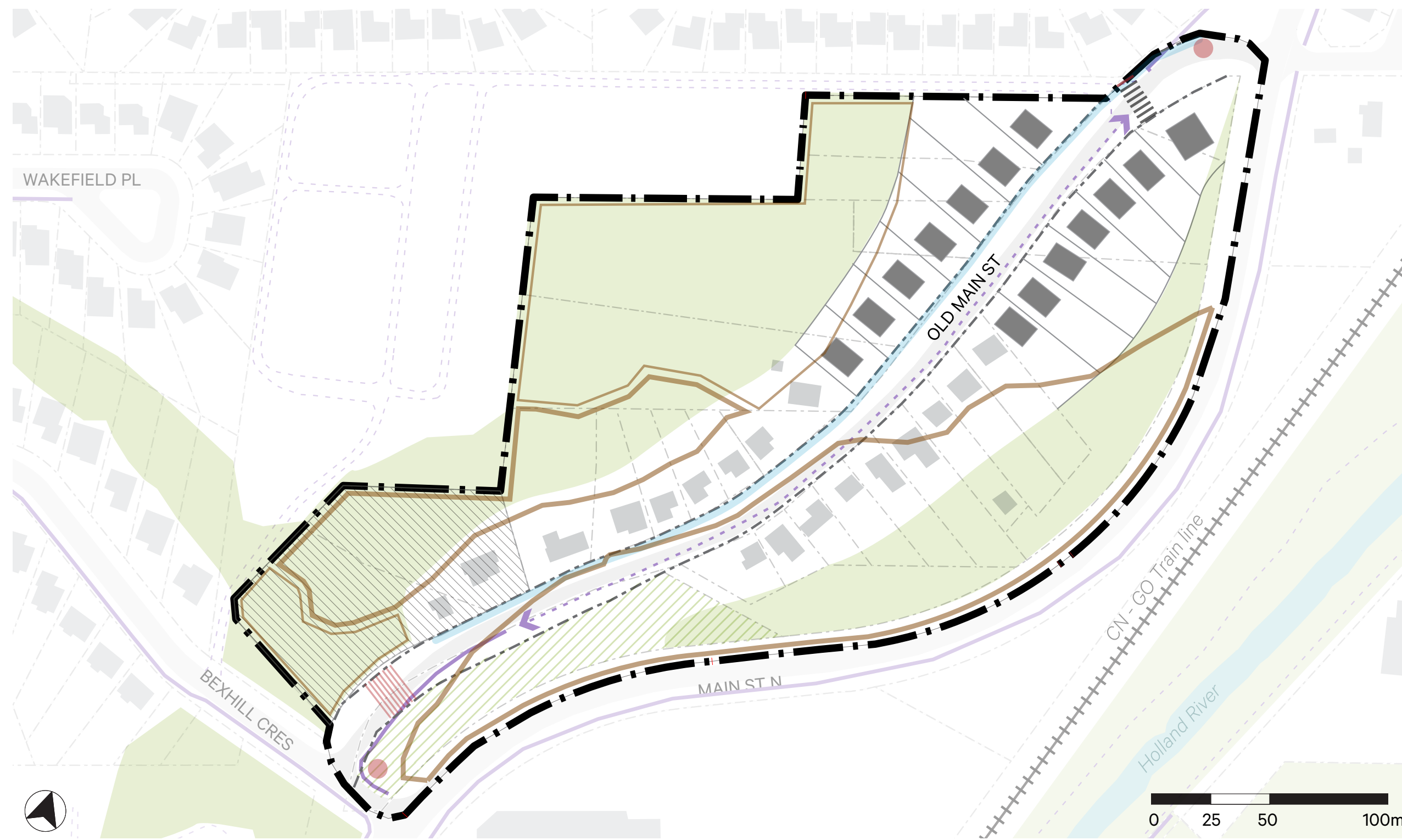
Overview

The draft Land Use Concepts build upon the draft Vision Statement, Guiding Principles, and the Key Opportunities and Constraints. Where opportunities exist to assemble land, the Land Use Concepts demonstrate how existing buildings could be replaced through redevelopment. This is illustrated for demonstrations purposes only. The land use concepts illustrate a range and a type of intensification, and their impacts on transportation and servicing infrastructure, the natural heritage system, site and building design, and architectural character.



Share your thoughts!
Take a green/red sticker and evaluate these concepts

Minor Development and Traffic Calming Concept



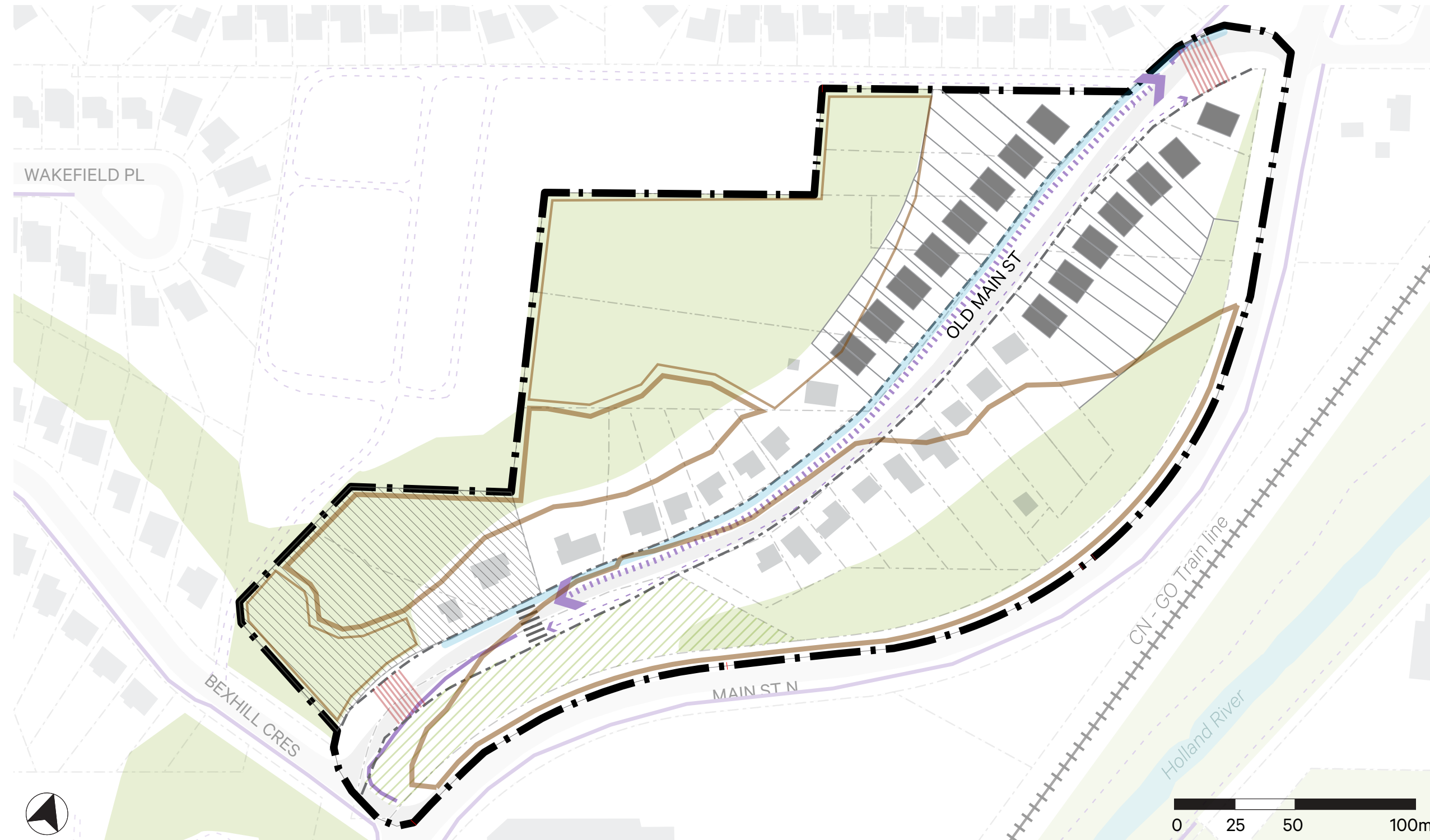
Pros

- Maintains continuity and porosity of the street wall;
- Maintains prevailing built form character;
- Building typologies are permitted as-of-right;
- Sensitive to existing topographic and natural heritage features;
- Maintains prevailing driveway, curb-cut, front yard landscaping conditions;
- Maintains street function (traffic control; private, single driveway access only); and
- Sensitive to existing floodplain.

Cons

- Minor degree of low-rise residential infill and intensification;
- Minor increase in site-related vehicle traffic;
- Minor optimization of required servicing and infrastructure improvements; and
- Minor increase in impervious surface area and stormwater run-off.

Moderate Development and Traffic-Calming Concept



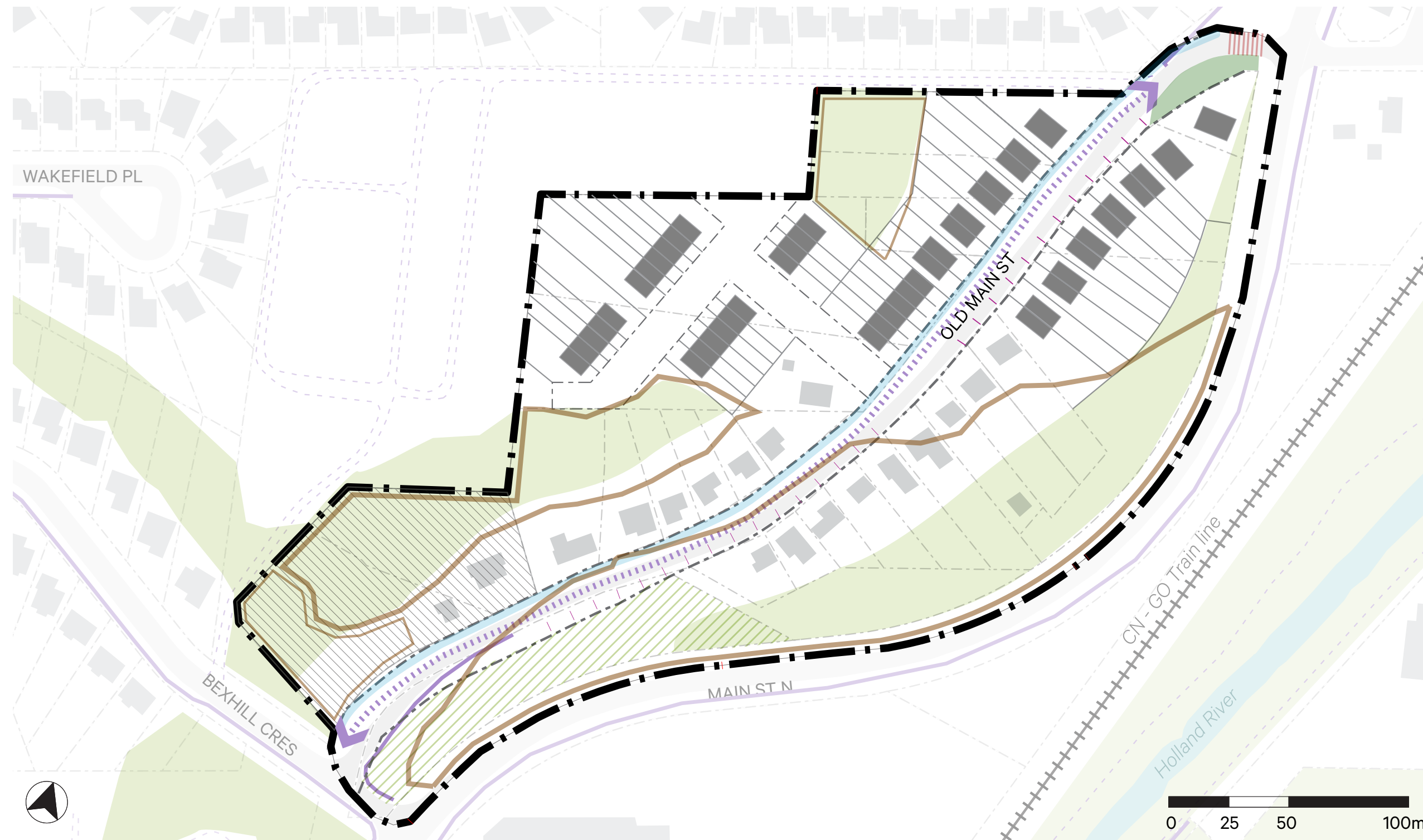
Pros

- Maintains continuity and porosity of the street wall;
- Building typologies are permitted as-of-right;
- Moderate degree of low-rise residential infill and intensification;
- Sensitive to existing topographic and natural heritage features;
- Maintains street function (traffic control; private, single driveway access only);
- Moderate optimization of required servicing and infrastructure improvements; and
- Sensitive to existing floodplain

Cons

- Minor alteration of prevailing built form character;
- Moderate decrease in the area dedicated to front yard landscaping;
- Minor increase in the number of driveways and curb-cuts;
- Moderate increase in site-related vehicle traffic; and
- Minor increase in impervious surface area and stormwater run-off.

Significant Development and Traffic Calming Concept

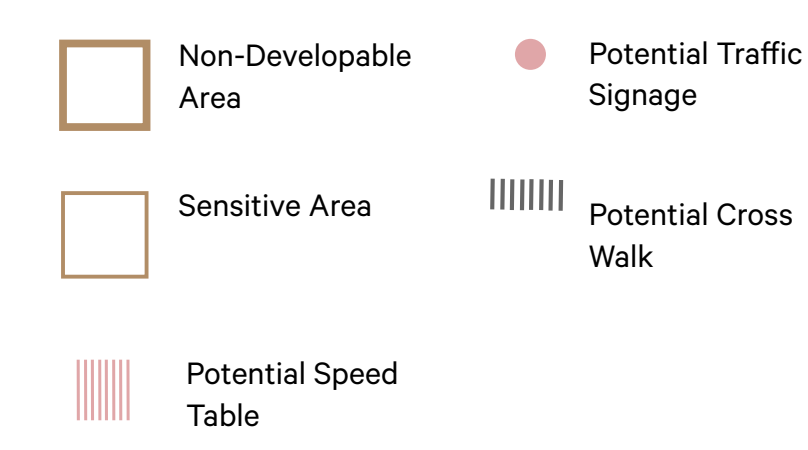
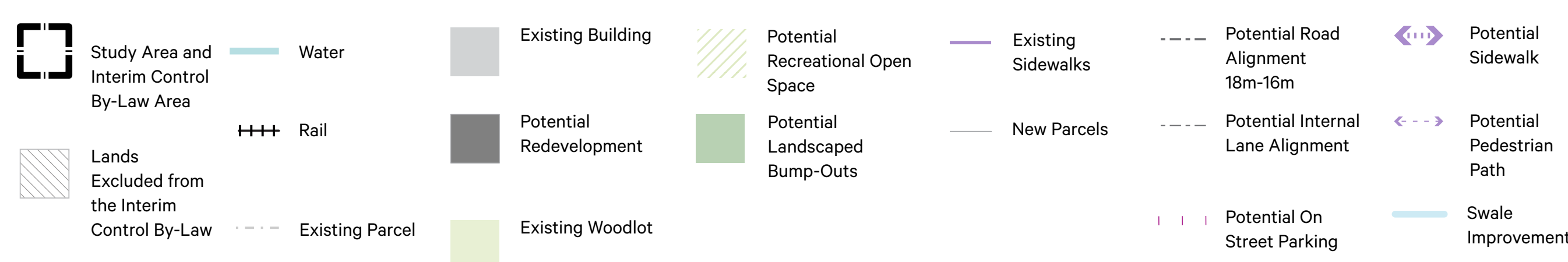


Pros

- Maintains continuity of the street wall;
- Significant degree of low-rise residential infill and intensification;
- Sensitive to existing floodplain;
- Significant optimization of required servicing and infrastructure improvements; and
- Townhouses generate less vehicular traffic per unit.

Cons

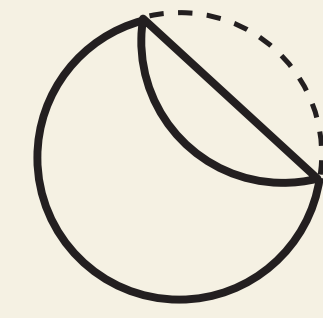
- Minor alteration to street wall porosity;
- Moderate alteration of prevailing built form character;
- Building typologies are not permitted as-of-right;
- Moderate decrease in the area dedicated to front yard landscaping;
- Moderate increase in the number of intersections, driveways and curb-cuts;
- Significant increase in site-related vehicle traffic (though with capacity of roadway and existing traffic control);
- Minor change in street function (private road access);
- Significant increase in transportation and re-grading costs;
- Minor increase in water and sanitary servicing costs;
- Minor increase in storm water sewer costs; and
- Moderate increase in impervious surface area and stormwater run-off.



Draft Streetscape Cross-Section Concepts

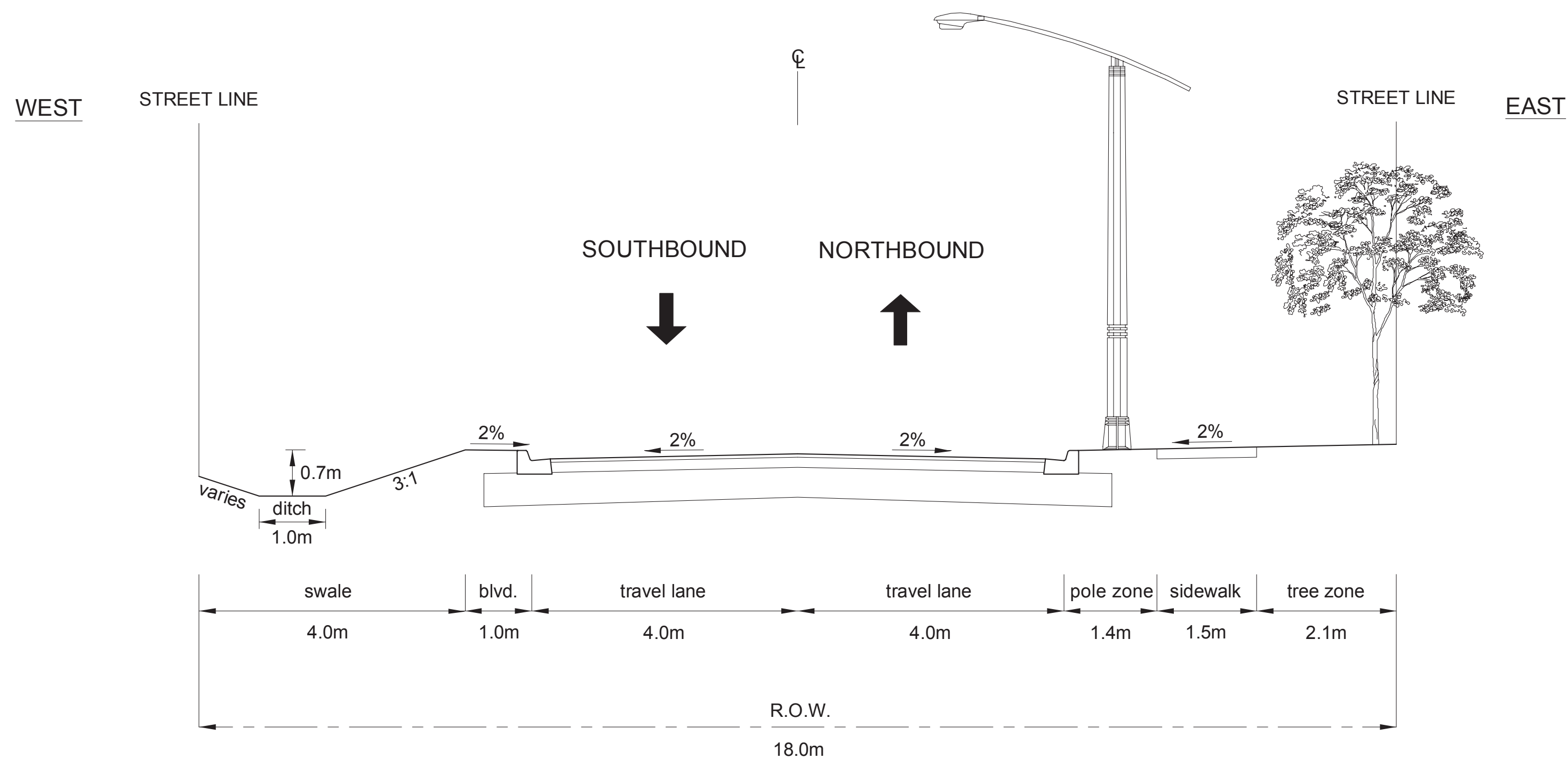
Overview

The draft Streetscape Cross-Section Concepts build upon the draft Vision Statement and Guiding Principles. All Options are subject to topography and grading requirements and will be subject to further study.



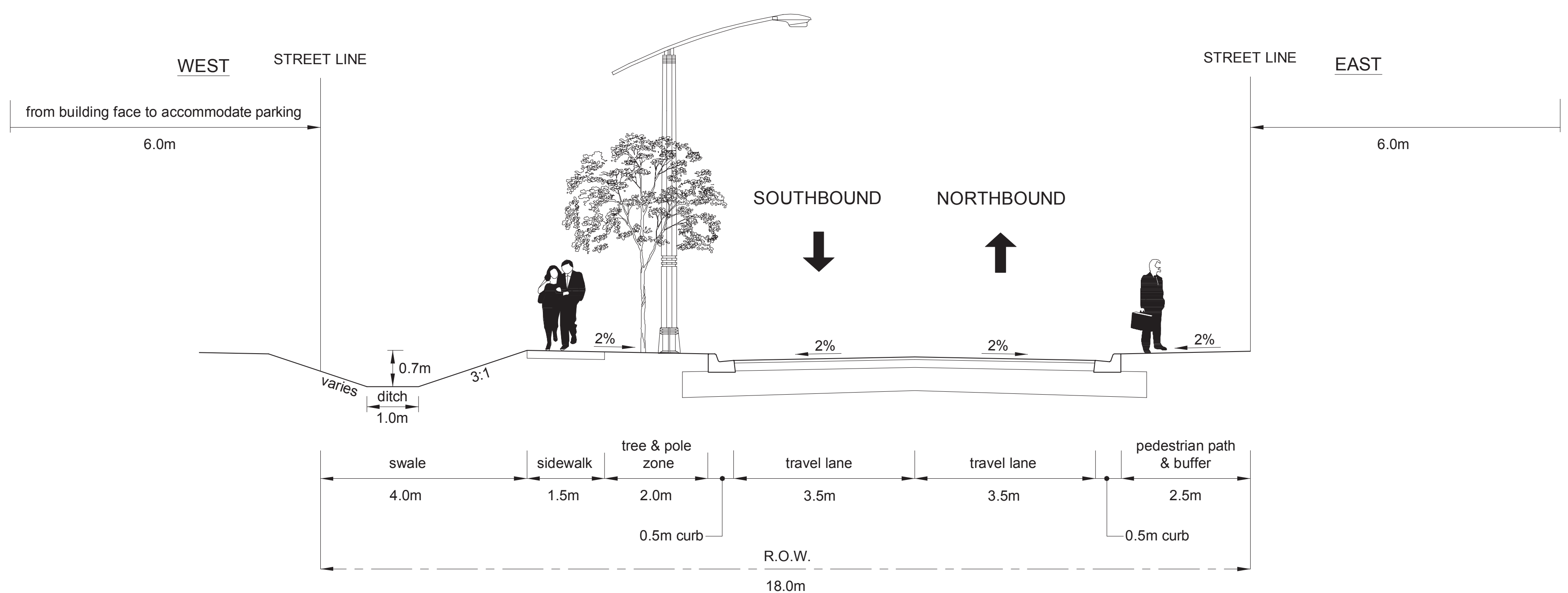
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Take a green/red sticker and evaluate these concepts

OLD MAIN STREET (LOOKING NORTH)



Sidewalk, Trees, Lights and Swale on West Side / Landscape Buffer on East Side

OLD MAIN STREET (LOOKING NORTH)



Sidewalk, Trees, Lights and Swale on West Side / On-Street Parking on East Side

OLD MAIN STREET (LOOKING NORTH)

