

# Welcome & Introduction

## Welcome

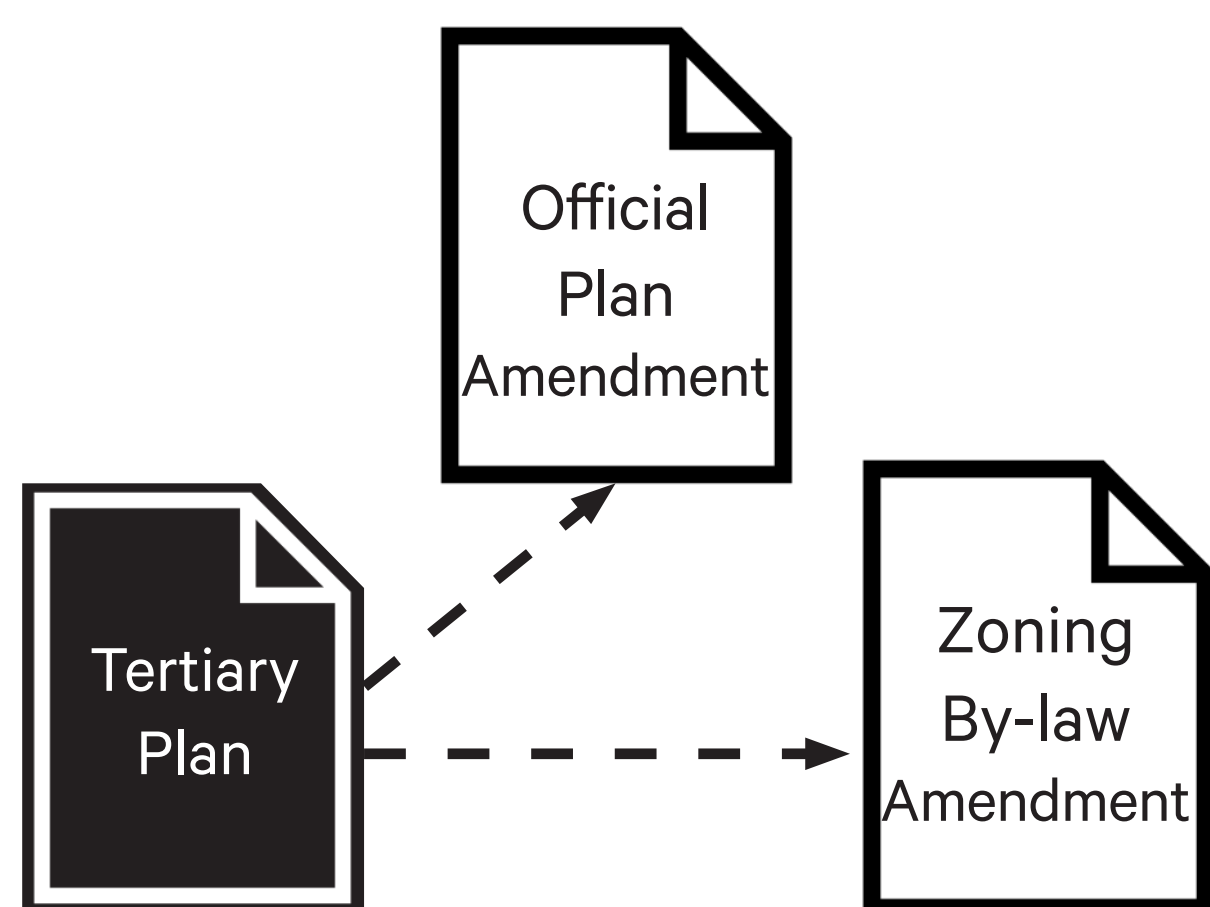
Thank you for joining us, and welcome to the third public meeting for the Old Main Street Tertiary Plan Study! The purpose of tonight's meeting is to present and obtain your feedback on the draft Old Main Street Tertiary Plan. Your feedback is important. The findings from tonight's meeting will inform final revisions to the Old Main Street Tertiary Plan in advance of the Statutory Public Meeting.

## Meeting Agenda

7:00pm	Doors Open and Sign-In
7:00pm – 7:30pm	Display Board Viewing
7:30pm – 7:40pm	Presentation
7:40pm – 8:00pm	Question and Answer Period
8:00pm – 9:00pm	Display Board Viewing

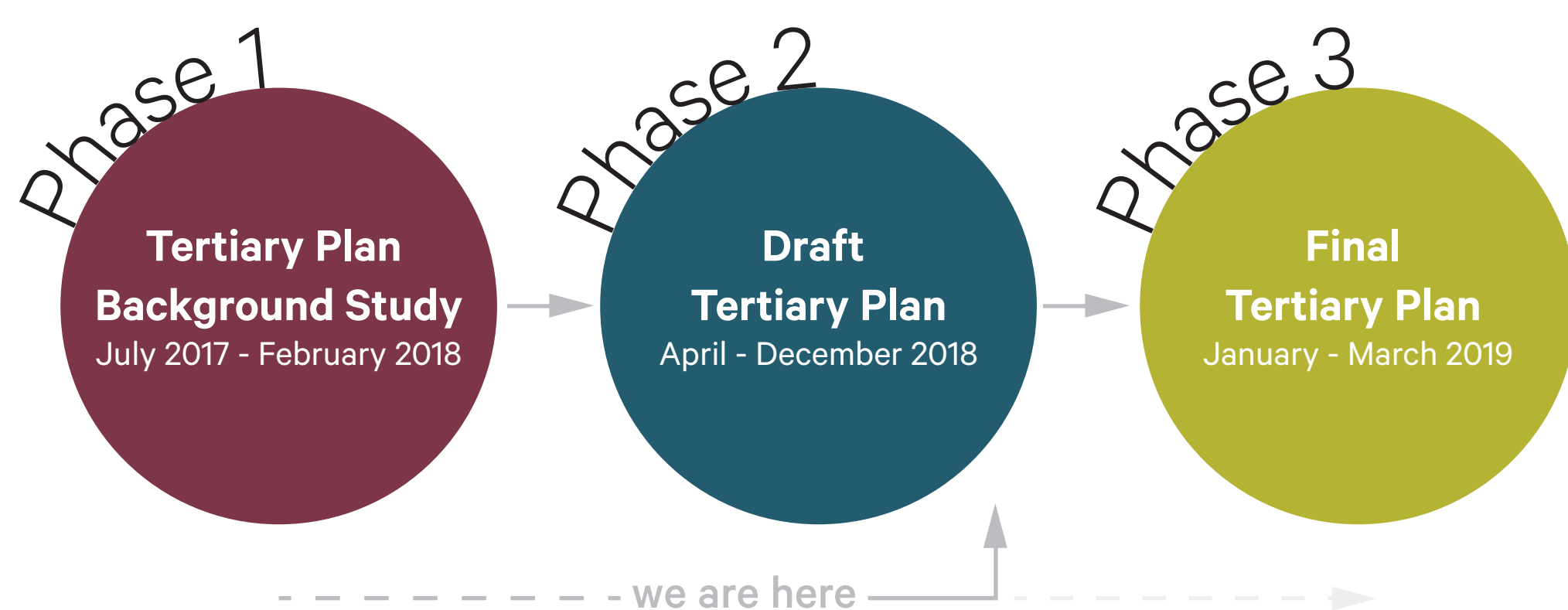
## Study Overview

The Old Main Street Tertiary Plan Study will direct redevelopment throughout the Old Main Street Neighbourhood, while maintaining its unique character. Policies will be prepared to address land use, density, urban design, stormwater management, low impact development, transportation and servicing infrastructure, open space and natural heritage. The Plan will form part of an amendment to the Town of Newmarket Official Plan, and will inform an implementing amendment to the Town of Newmarket Zoning By-law.



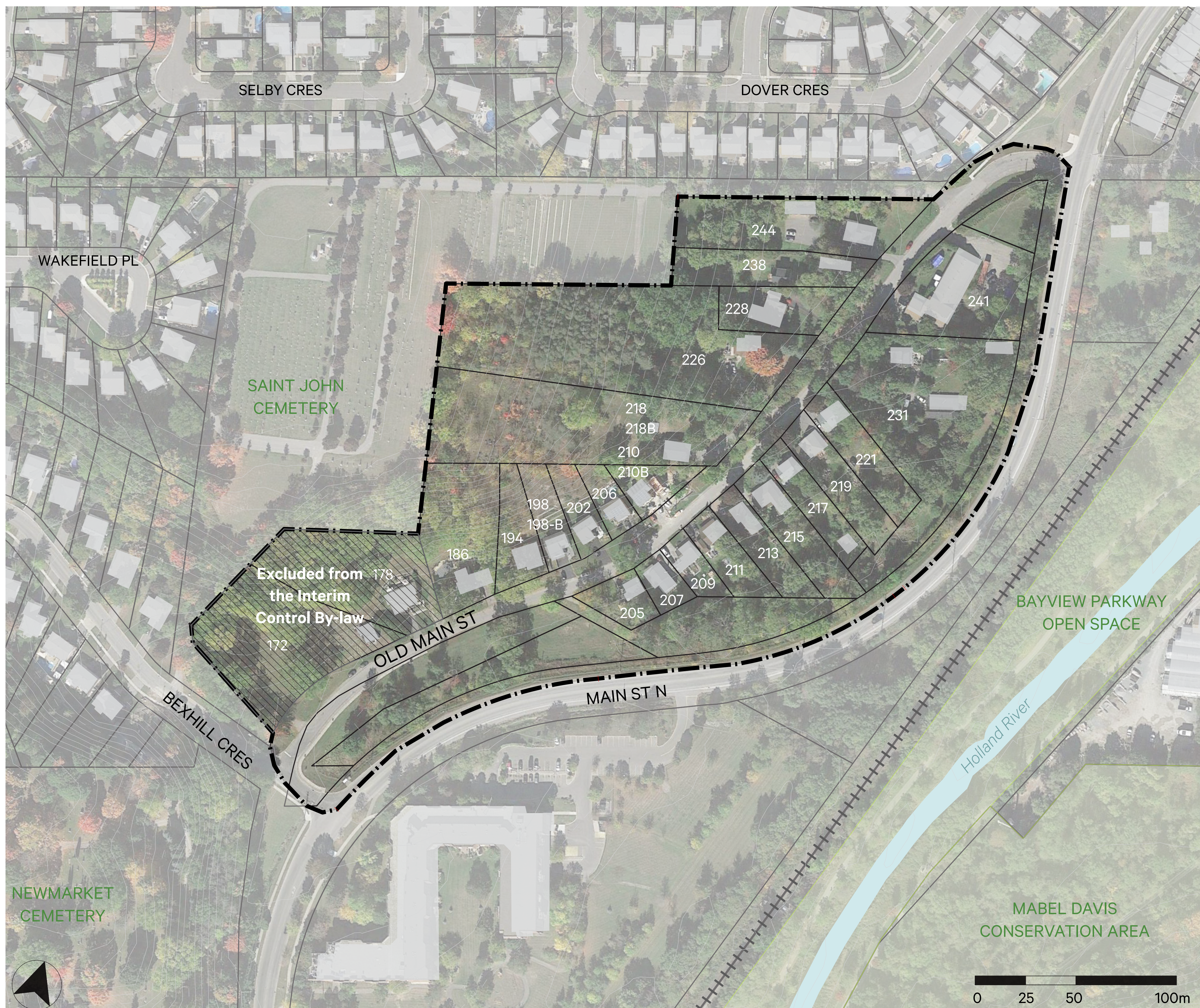
## Study Process

The Old Main Street Tertiary Plan Study will be undertaken in the following three phases:



## Study Area

The Old Main Street Tertiary Plan will address properties which front onto either side of Old Main Street, between Bexhill Road and Main Street North. The properties at 172 to 178 Old Main Street are not subject to the Interim Control By-law. While these lands have been included within the study area boundary, they are not subject to the recommendations of the Old Main Street Tertiary Plan.



Aerial Map - Old Main Street Study Area



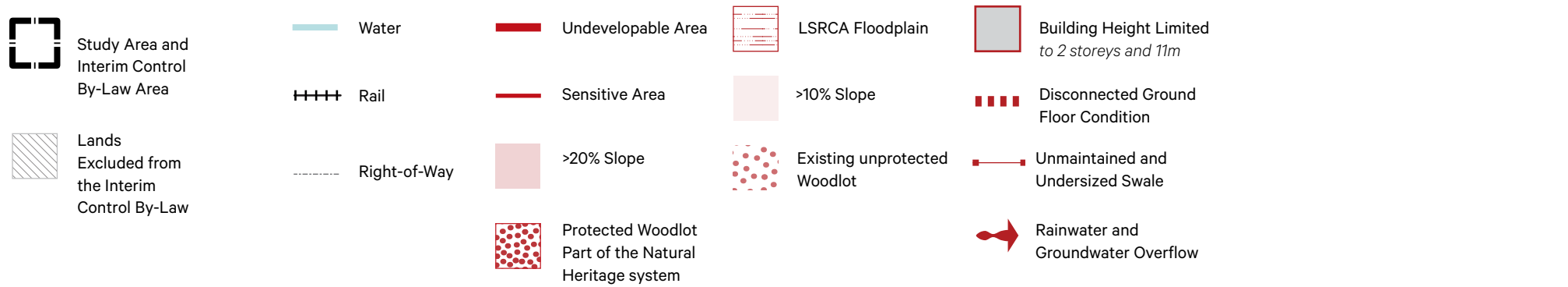
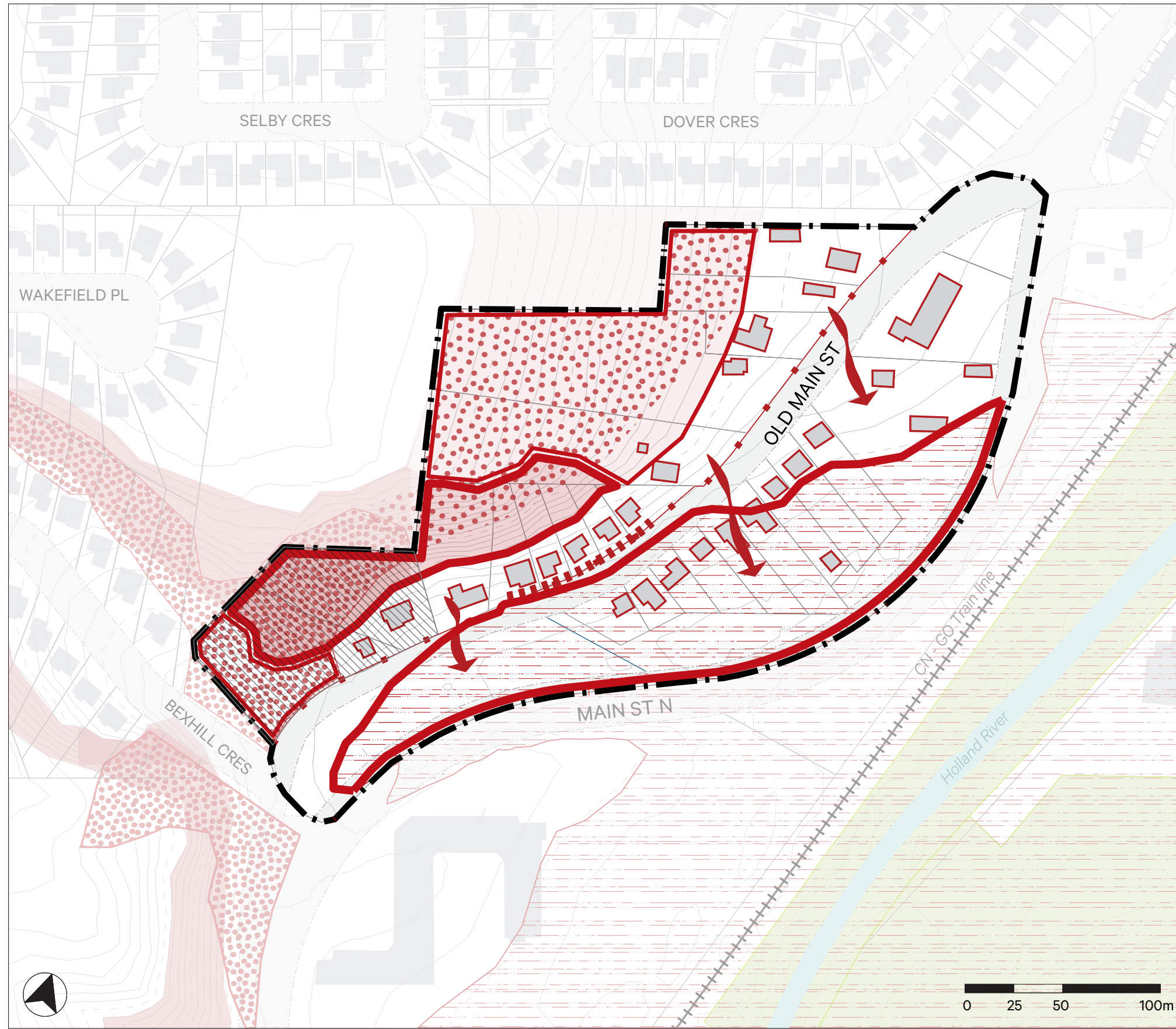
# Background Study

## Overview

The first phase of the Old Main Street Tertiary Plan Study included an analysis of existing spatial and contextual conditions; relevant policies and regulations at the provincial, regional and municipal level; transportation infrastructure; servicing infrastructure; preliminary public and stakeholder consultation findings; and key opportunities and constraints. The following points summarize the key findings and directions which have emerged out of this research.

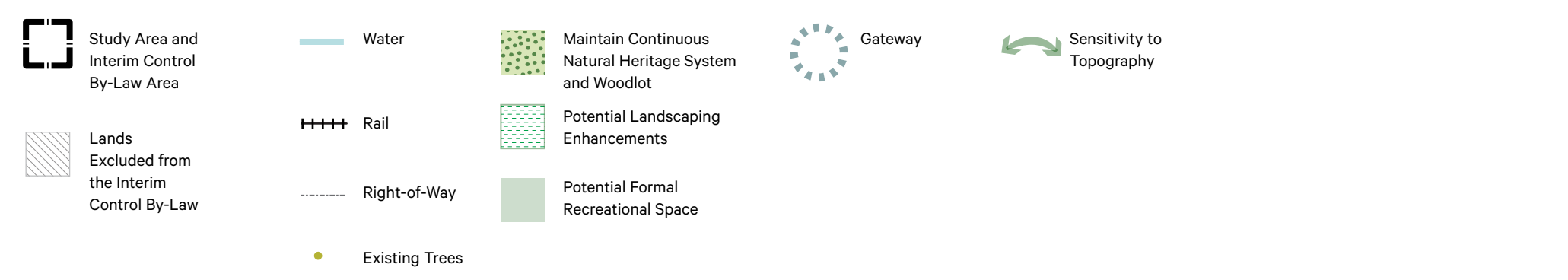
## Key Constraints

The following map provides an illustrative summary of key constraints as they pertain to natural heritage features, streetscape design, and transportation and servicing infrastructure.



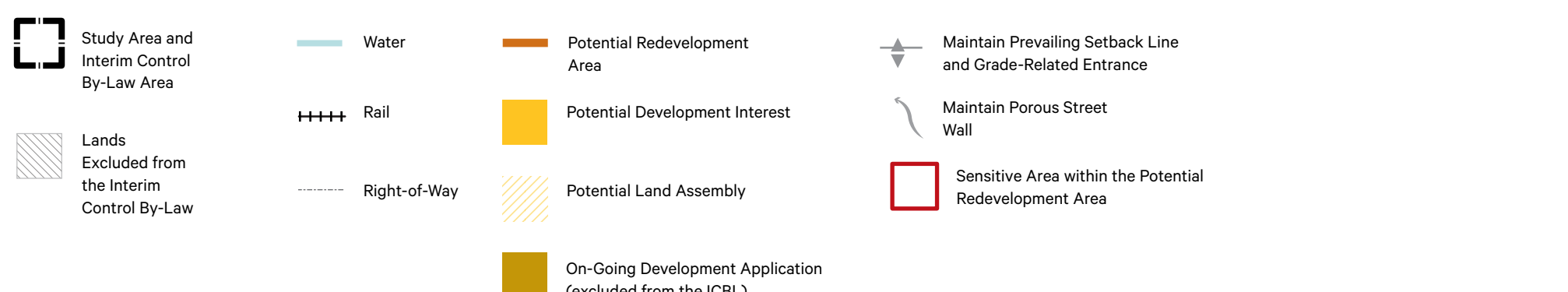
## Key Opportunities: Parks, Open Space and Natural Heritage System

Opportunities exist to protect significant natural features and local wildlife habitat; establish appropriate buffers to these features while integrating elements of the natural environment into new development; respect existing topographical conditions; enhance the existing open space network; and establish prominent gateway features and connections to the broader open space network.



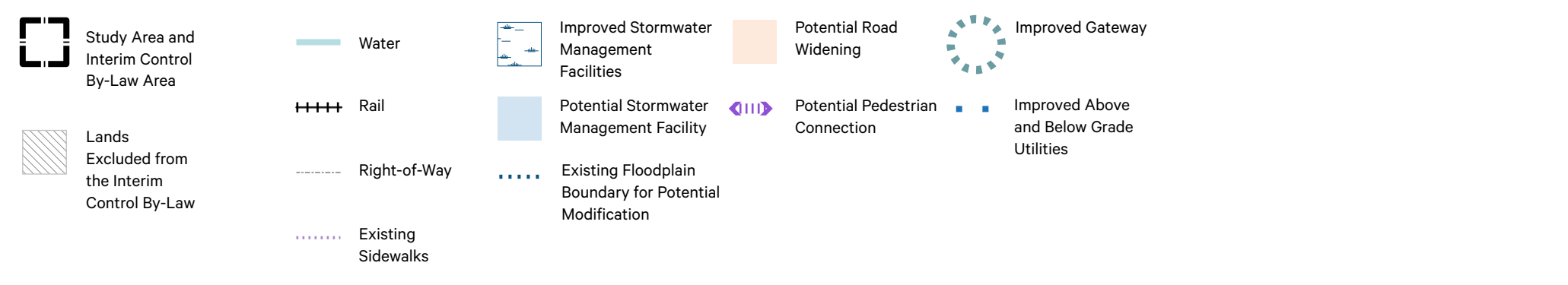
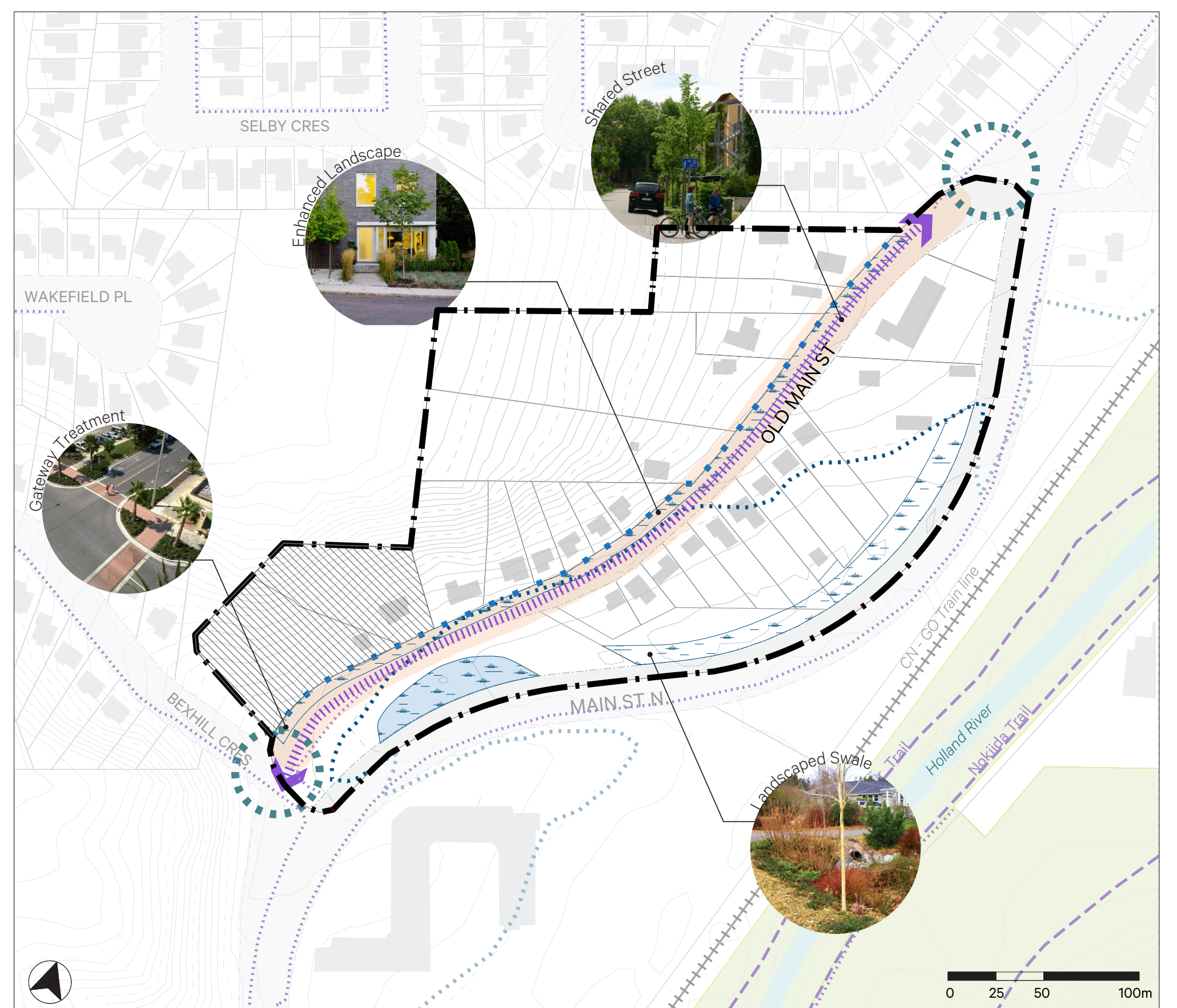
## Key Opportunities: Site and Building Design, and Architectural Character

Opportunities exist to respect the distinct character of the existing community through the dimensioning and orientation of new development parcels; the organization of private landscaping and amenity space; the layout and design of driveways and parking facilities; the siting, orientation and massing of new buildings; the organization of building entrances and habitable spaces; and the articulation and detailing of new buildings.



## Key Opportunities: Streetscape Design, Transportation and Servicing

Opportunities exist to enhance Old Main Street, while respecting its distinct character; upgrading existing servicing infrastructure; improving stormwater management capabilities and mitigate impacts on existing and future residents; and establish prominent gateway features and connections to the broader transportation network.





# Vision Statement and Guiding Principles

## Overview

The following Vision Statement and Guiding Principles have been prepared based on the findings of the Tertiary Plan Background Study, including input obtained through previous public meetings. The Vision Statement is intended to establish a broad framework to inform future public realm improvements and private developments throughout the Old Main Street Neighbourhood.

The Guiding Principles are intended to build-upon the Vision Statement by establishing a set of themes to direct future public realm improvements and private developments throughout the Old Main Street Neighbourhood.

## Draft Vision Statement

The Old Main Street Neighbourhood will retain its rural, cottage-like and scenic natural character, while accommodating contextually-sensitive development. Future development will be planned and designed in a manner which respects the existing natural heritage system and topographical conditions; enhances existing landscaping and open space features, while introducing new and improved stormwater management facilities; facilitating the establishment of new pedestrian connections, gateway features, and the enhancement of Old Main Street; and respecting prevailing site, building and architectural characteristics.



Bio-Swale



Townhouses



Porous Pavement



Landscape Buffer

## Draft Guiding Principles



Integrate Slope

### Respect the Natural Heritage System and Existing Topography

- Protect existing woodlots and significant natural heritage features, and maintain a continuous natural heritage system;
- Provide adequate buffers and open space linkages, in order to protect wildlife;
- Incorporate elements of the natural environment into future development; and
- Respect existing topographical conditions.



Rain Gardens

### Enhance Landscaping and Open Space Features

- Enhance the existing informal open space and recreational area;
- Improve existing landscape buffers to mitigate acoustic and visual impacts;
- Introduce new stormwater management systems, in order to increase flood storage capacity and mitigate stormwater runoff; and
- Encourage the use of permeable and soft landscaping.



Gateway Treatment

### Establish Pedestrian Connections and Gateway Features

- Provide pedestrian connections to surrounding parks, open spaces, trails and public transit stops; and
- Establish gateway treatments at either end of Old Main Street, through accent planting, landscaping, traffic calming measures, special paving treatments, and signage.



Meandering Character

### Enhance the Design of Old Main Street

- Enhance the design of Old Main Street, while acknowledging its quiet, meandering and rural character;
- Re-pave and re-grade the street, and formalize shoulder areas;
- Enhance and beautify the existing swale system;
- Incorporate new street trees, where possible; and
- Introduce sidewalks and landscape buffers.



Integrate Nature

### Respect Prevailing Site Design Characteristics

- Maintain the east-west alignment of existing lots;
- Orient primary building facades and entrances towards Old Main Street;
- Acknowledge the porous character of Old Main Street, as well as prevailing front and side yard setbacks;
- Promote unobstructed views between dwellings and adjacent streets and open spaces;
- Maintain sky views, sunlight penetration, and privacy; and
- Minimize driveway and curb-cut widths.



Cottage-like Character

### Respect Prevailing Building Design and Architectural Characteristics

- Encourage an eclectic mix of traditional and contemporary architectural styles;
- Acknowledge the “cottage-like” character of many existing dwellings;
- Minimize finished ground floor heights relative to established grade, in order to establish positive street interfaces;
- Acknowledge the prevailing rhythm of entrances, windows, and other building elements; and
- Reflect the prevailing character of 1 to 2 storey dwellings.

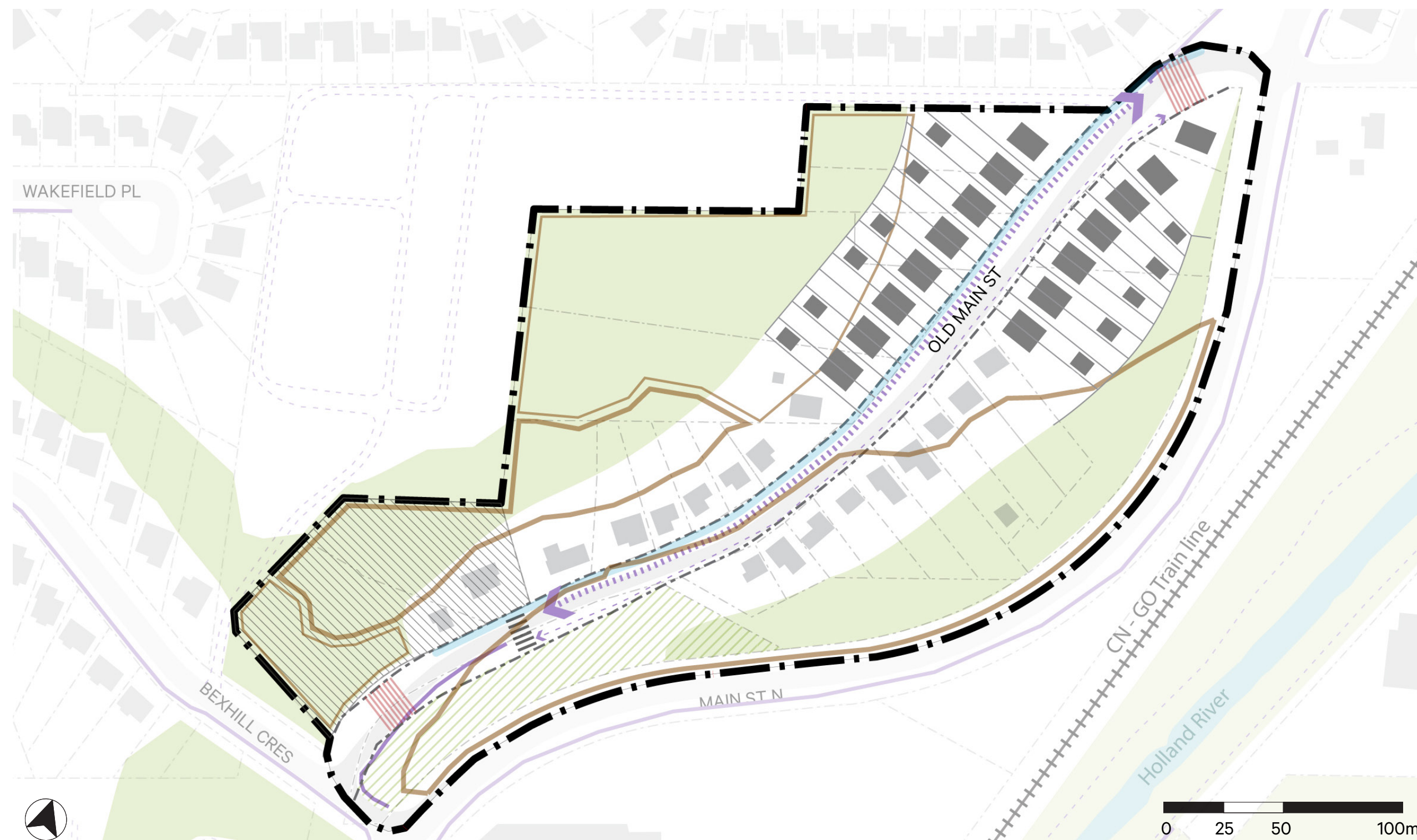


# Preferred Land Use Concept

## Overview

The following Preferred Land Use Concept builds upon the Vision Statement, Guiding Principles, and the Opportunities and Constraints outcomes. It has been prepared based on the findings of Tertiary Plan Background Study, including input obtained through previous public meetings. The Preferred Land Use Concept has been prepared assuming a certain degree of land assembly and redevelopment. This has been done for demonstration purposes only.

## Preferred Concept



### Key Characteristics

- Maintains continuity and perosity of the street wall;
- Maintains prevailing built form character;
- Introduces permissions for new building typologies;
- Moderate degree of low-rise residential infill and intensification;
- Optimization of required servicing and infrastructure improvements;
- Sensitive to existing topographic and natural heritage features;
- Maintains prevailing driveway, curb-cut, and front yard landscaping conditions;
- Maintains street function (traffic control; private, single driveway access only);
- Sensitive to existing floodplain;
- Minor increase in impervious surface area; and
- Minor increase in site-related vehicle traffic.

## Earlier Concept: Minor Development and Traffic Calming



### Pros

- Maintains continuity and perosity of the street wall;
- Maintains prevailing built form character;
- Building typologies are permitted as-of-right;
- Sensitive to existing topographic and natural heritage features;
- Maintains prevailing driveway, curb-cut, front yard landscaping conditions;
- Maintains street function (traffic control; private, single driveway access only); and
- Sensitive to existing floodplain.

### Cons

- Minor degree of low-rise residential infill and intensification;
- Minor increase in site-related vehicle traffic;
- Minor optimization of required servicing and infrastructure improvements; and
- Minor increase in impervious surface area and stormwater run-off.

## Earlier Concept: Moderate Development and Traffic-Calming



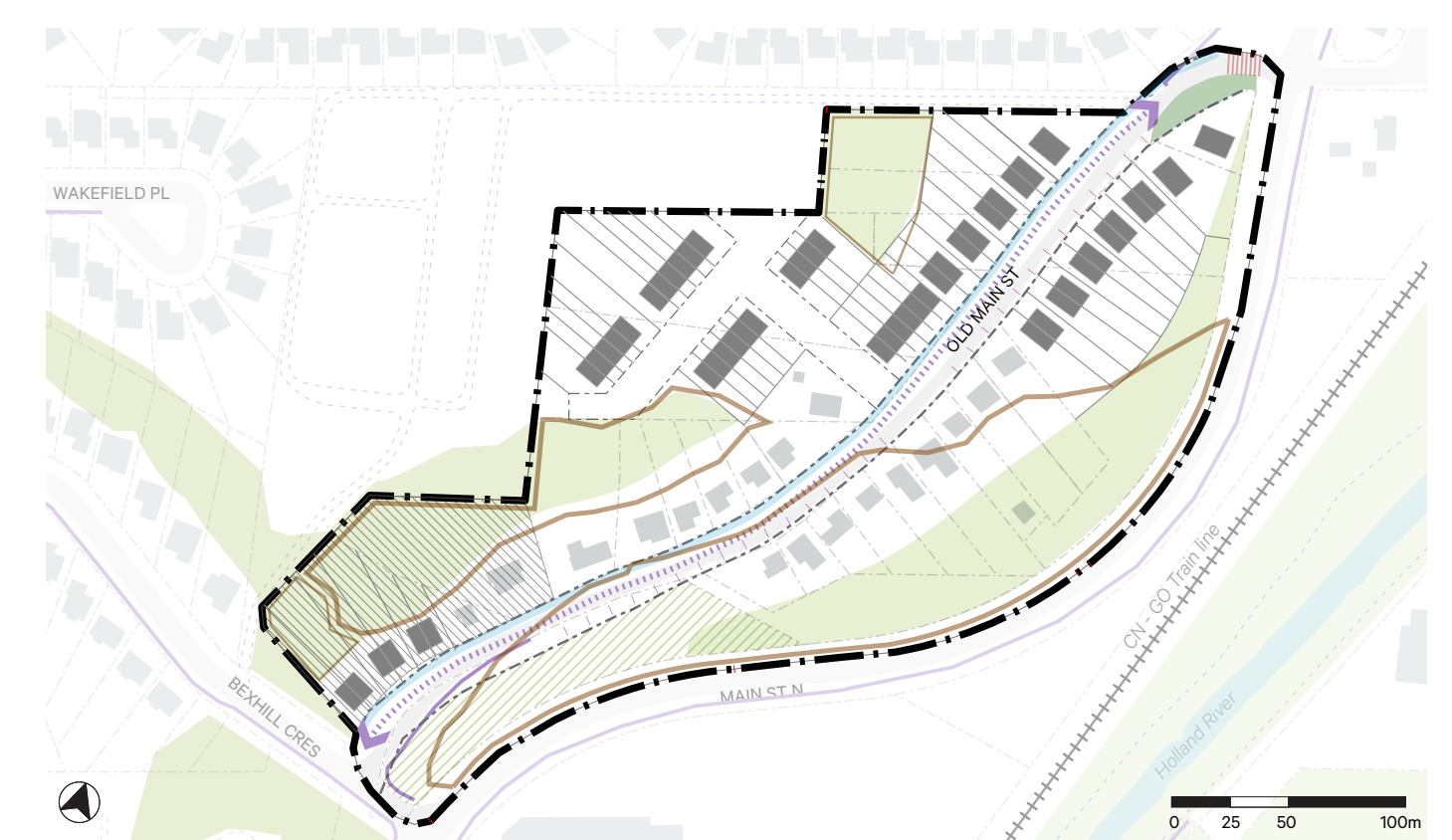
### Pros

- Maintains continuity and porosity of the street wall;
- Building typologies are permitted as-of-right;
- Moderate degree of low-rise residential infill and intensification;
- Sensitive to existing topographic and natural heritage features;
- Maintains street function (traffic control; private, single driveway access only);
- Moderate optimization of required servicing and infrastructure improvements; and
- Sensitive to existing floodplain

### Cons

- Minor alteration of prevailing built form character;
- Moderate decrease in the area dedicated to front yard landscaping;
- Minor increase in the number of driveways and curb-cuts;
- Moderate increase in site-related vehicle traffic; and
- Minor increase in impervious surface area and stormwater run-off.

## Earlier Concept: Significant Development and Traffic Calming



### Pros

- Maintains continuity of the street wall;
- Significant degree of low-rise residential infill and intensification;
- Sensitive to existing floodplain;
- Significant optimization of required servicing and infrastructure improvements; and
- Townhouses generate less vehicular traffic per unit.

### Cons

- Minor alteration to street wall perosity;
- Moderate alteration of prevailing built form character;
- Building typologies are not permitted as-of-right;
- Moderate decrease in the area dedicated to front yard landscaping;
- Moderate increase in the number of intersections, driveways and curb-cuts;
- Significant increase in site-related vehicle traffic (though with capacity of roadway and existing traffic control);
- Minor change in street function (private road access);
- Significant increase in transportation and re-grading costs;
- Minor increase in water and sanitary servicing costs;
- Minor increase in storm water sewer costs; and
- Moderate increase in impervious surface area and stormwater run-off.

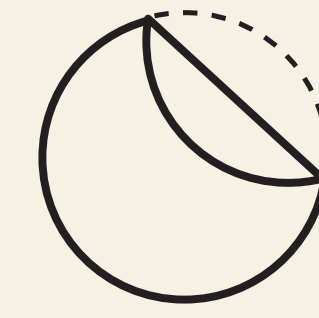




# Draft Tertiary Plan Policies

## Overview

The following draft Tertiary Plan schedules and policies build upon the Vision Statement and Guiding Principles. They have been prepared based on the findings of Tertiary Plan Background Study, including input obtained through previous public meetings.



Share your thoughts!  
Take a green/red sticker and evaluate these concepts

## Land Use



### Key Policies

- Residential Areas are permitted to include a combination of single detached dwellings, semi-detached dwellings, triplexes and fourplexes.
- Residential Areas are permitted to include a maximum of 1 integral or detached accessory dwelling unit in combination with a single detached or semi-detached dwellings.

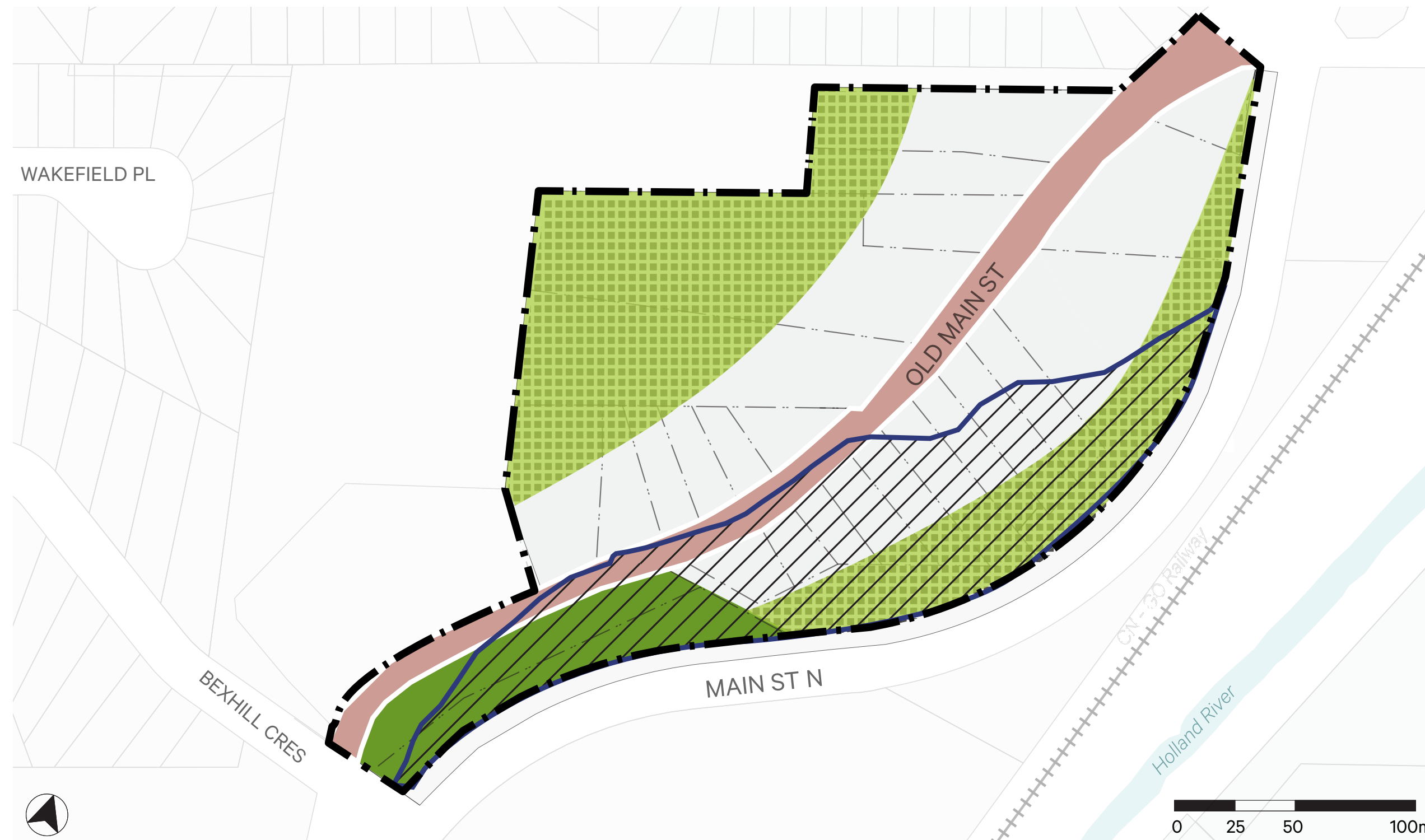
## Height and Density



### Key Policies

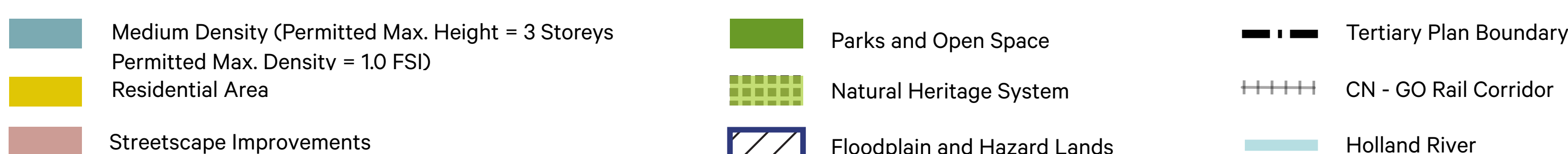
- Future development shall acknowledge, and respond to, the height of existing adjacent buildings.
- Single detached and semi-detached dwellings, as well as fourplexes, shall have a maximum building height of 2 storeys.
- Triplexes shall have a maximum building height of 3 storeys.
- Detached accessory dwelling units shall have a maximum building height of 2 storeys.
- Single detached and semi-detached dwellings, as well as triplexes and fourplexes, shall have a finished first floor height which establishes a positive interface with Old Main Street.
- Detached accessory dwelling units shall have footprints and gross floor areas which are less than the primary dwelling.
- Triplexes shall have an up-down configuration only, and shall read as a large single detached dwelling. Side-side and front-rear triplexes are not permitted.
- Fourplexes shall incorporate a combination of up-down and side-side configurations only, and shall read as a set of semi-detached dwellings. Front-back fourplexes are not permitted.
- The density of Residential Areas shall be limited to a floor space index of 1.0.

## Parks, Open Spaces and Natural Heritage Features



### Key Policies

- Existing woodlots and significant portions of naturalized areas shall be protected.
- Buffers shall be maintained to protect the form and ecological function of natural heritage features and naturalized areas.
- Future development shall respect the significance of the Regional Greenlands System.
- Future development shall respect existing topographical conditions, and shall limit the extent of changes adjacent to Old Main Street.
- Future development shall enhance the appearance of landscaped boulevards along the length of Old Main Street.
- The existing informal open space and recreational area along the east side of Old Main Street shall be enhanced.
- Future development shall maintain existing landscape buffers, which mitigate accousitc and visual impacts associated with vehicle traffic on Main Street North.
- Consideration shall be given to the introduction of accent planting, enhanced landscaping, bumpouts, raised pedestrian crossings, special surface treatments, and signage along Old Main Street.
- Consideration shall be given to improving pedestrian connections between Old Main Street and the surrounding park, open space, trail and public transit network.

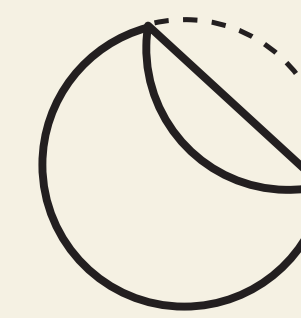




# Draft Tertiary Plan Policies

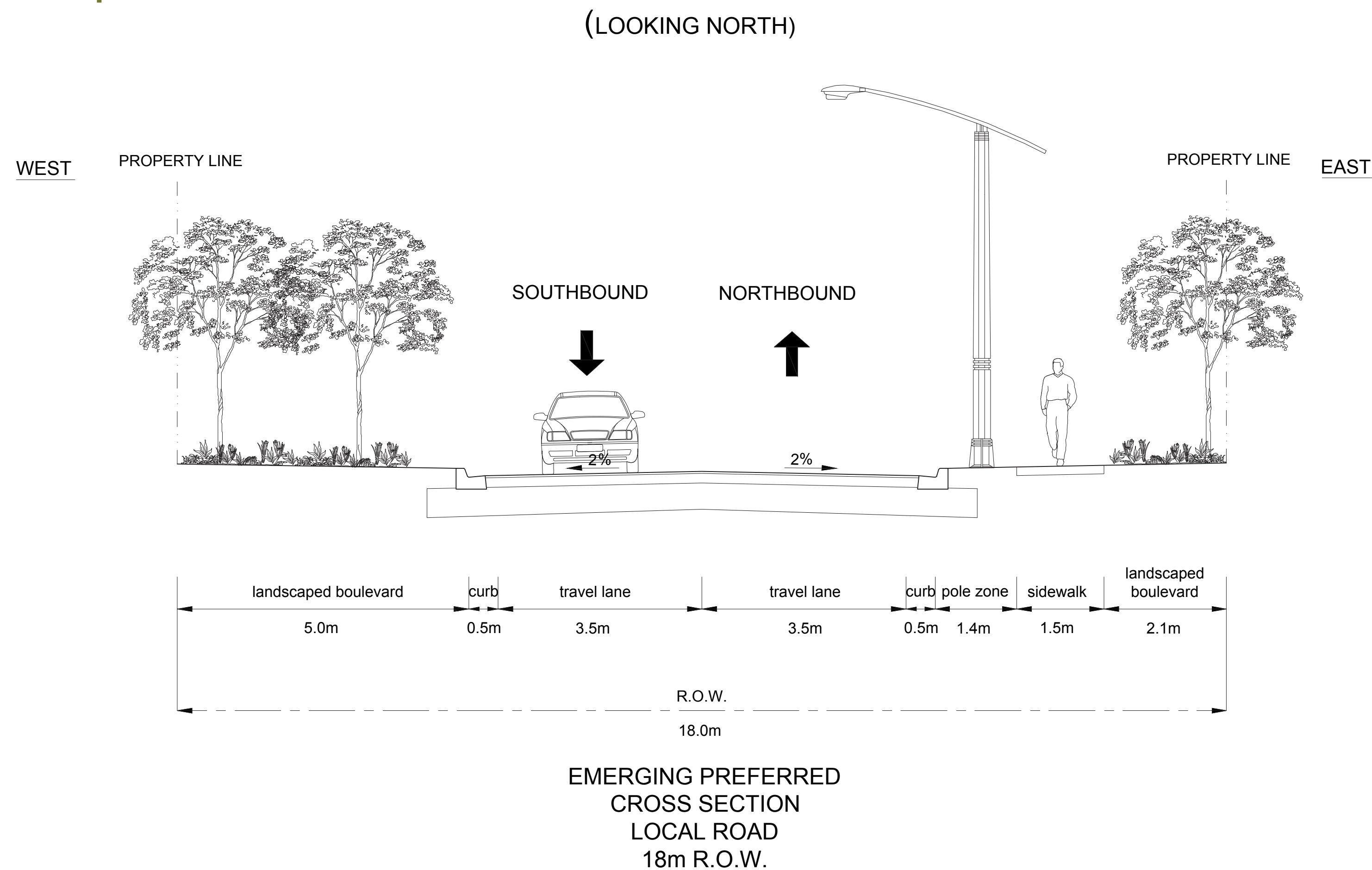
## Overview

The following draft Tertiary Plan schedules and policies build upon the Vision Statement and Guiding Principles. They have been prepared based on the findings of Tertiary Plan Background Study, including input obtained through previous public meetings.



Share your thoughts!  
Take a green/red  
sticker and evaluate  
these concepts

## Transportation



### Key Policies

- The Old Main Street right-of-way should be widened to approximately 18.0 metres, between Bexhill Road and Main Street North, where feasible.
- The redesign of Old Main Street should acknowledge the quiet, meandering and rural character of the existing street.
- The redesign of Old Main Street should endeavor to incorporate 2 new travel lanes, a pole zone and adjacent sidewalk on the east side of the right-of-way, on-street parking bays and landscaped bumpouts where space permits, landscaped boulevards with soft landscaping, low impact development features, permeable surface materials, and formal traffic calming measures.
- The redesign of Old Main Street should mitigate stormwater run-off.

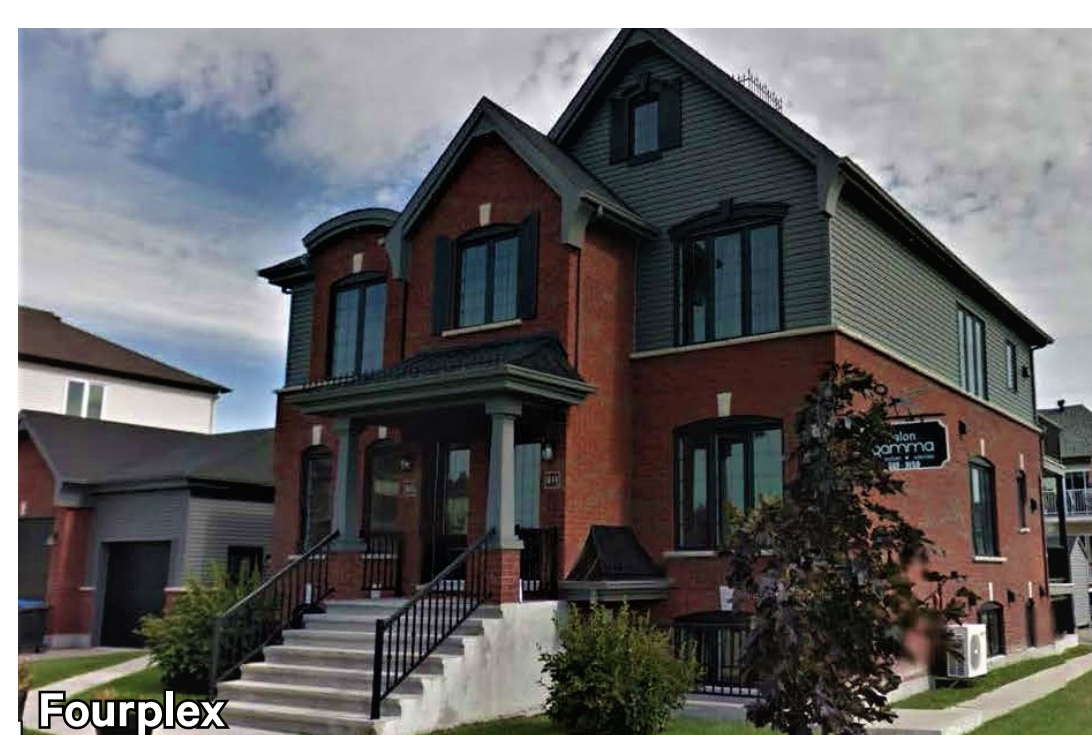
## Servicing and Utilities



### Key Policies

- Future development shall expand upon the existing wastewater sewer system, and connect to the municipal water system.
- Water shall be directed away from buildings and neighbouring properties, toward the adjacent street.
- Landscape design strategies shall minimize stormwater run-off and reduce water consumption.
- The existing linear swale and culvert system along Old Main Street shall be replaced with a sub-surface storm sewer system.
- Future development shall explore opportunities to improve on-site stormwater management and incorporate low impact development measures.
- Future development shall consider the visual impact and location of above and below-grade utilities.
- Existing vehicle-oriented lighting shall be replaced with new pedestrian-oriented lighting.
- Waste and recycling storage areas shall be located to the side or rear of buildings, or shall be screened from view.
- Utilities, infrastructure and servicing shall be located so as not to interfere with existing trees, mature tree growth or landscaping.

## Site and Building Design



### Key Policies

- Future development shall maintain the appearance of prevailing lot dimensions and areas, as well as the predominant east-west alignment of properties.
- Limitations shall be placed on lot coverage.
- Primary dwellings shall maintain the appearance of prevailing front, side and rear yard setback conditions. Detached accessory dwelling units, where permitted, shall maintain appropriate side and rear yard setbacks.
- Adequate separation distance shall be provided between primary and detached accessory dwelling units, where permitted.
- Soft landscaping shall be provided within the front, side and rear yards where space is not required for porches, decks, driveways, and pedestrian walkways.
- All required parking shall be provided on-site.
- Tandem parking spaces shall be permitted.
- Driveways and curb-cuts shall be minimized in width, and either be consolidated and shared between adjacent properties or staggered relative to one another.
- Future development shall facilitate a diverse and eclectic mix of traditional and contemporary architectural styles, while acknowledging the modest and prevailing 'cottage-like' character of buildings.
- Future development shall promote a variety of roof designs and types, while acknowledging the prevailing character of pitched gable, hipped, or hybrid roofs. Flat roof conditions are not permitted.